

Dated 23rd March 2026

THE LONDON BOROUGH OF CROYDON (REGINA ROAD) COMPULSORY PURCHASE ORDER 2026

THE TOWN AND COUNTRY PLANNING ACT 1990

AND

ACQUISITION OF LAND ACT 1981

relating to Land and buildings at the Regina Road Estate, Croydon

THE LONDON BOROUGH OF CROYDON (REGINA ROAD) COMPULSORY PURCHASE ORDER 2026

The London Borough of Croydon of 8 Mint Walk, Croydon, CR0 1EA (in this order called the “Acquiring Authority”) makes the following order:

1. Subject to the provisions of this order the Acquiring Authority is under section 226(1)(a) of the Town and Country Planning Act 1990 (as amended) hereby authorised to purchase compulsorily the land described in paragraph 2 for the purposes of the residential led redevelopment of the Regina Road estate.
2. The land authorised to be purchased compulsorily under this order is the land described in the Schedule and delineated and shown edged red and coloured pink on a map prepared in duplicate, sealed with the common seal of the Acquiring Authority and marked “Map referred to in the London Borough of Croydon (Regina Road) Compulsory Purchase Order 2026” (the “Order Map”).

SCHEDULE

Table 1

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
1	All interests, other than those of the acquiring authority, in 2537 square metres of construction area previously known as 1 to 87 (odds) Regina Road, London, SE25 4TW and half width of highways known as Sunny Bank and Regina Road, London	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(including the presumption to subsoil of the highway) (and as highway authority)</i>	-	-	Coleman & Company Limited Shady Lane Birmingham B44 9ER <i>(in respect of construction)</i> Unoccupied <i>(in respect of 1 to 87 (odds) Regina Road)</i> London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(as highway authority)</i>
2	All interests, other than those of the acquiring authority, in 864 square metres of hardstanding and grassed area south of residential premises known as 89 to 99 (odds) Regina Road and half width of highway known as Regina Road, London	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(including the presumption to subsoil of the highway) (and as highway authority)</i>	-	-	Coleman & Company Limited Shady Lane Birmingham B44 9ER <i>(in respect of construction vehicle parking)</i> London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(as highway authority)</i>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
3	All interests, other than those of the acquiring authority, in 816 square metres of grassed area south of residential premises known as 101 to 123 (odds) Regina Road and half width of highway known as Regina Road, London	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(including the presumption to subsoil of the highway)</i> <i>(and as highway authority)</i>	-	-	Unoccupied London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(as highway authority)</i>
4	All interests, other than those of the acquiring authority, in 541 square metres of residential premises known as 89 to 123 (odds) Regina Road, London, SE25 4TP	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of ground and first floors, 93 Regina Road)</i> Croydon Affordable Tenures LLP Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of ground and first floors, 93 Regina Road)</i> Legal & General Assurance Society Limited One Coleman Street London EC2R 5AA <i>(in respect of ground and first floors, 93 Regina Road)</i>	-	Adel Mohamed Mahmoud Shoer 107 Regina Road London SE25 4TP Olksandra Bryhynets 107 Regina Road London SE25 4TP Kateryna Bryhynets 107 Regina Road London SE25 4TP

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
4 cont			<p>Adel Mohamed Mahmoud Shoer 107 Regina Road London SE25 4TP <i>(in respect of second and third floors)</i></p> <p>Abid Saleem Quereshi 109 Regina Road London SE25 4TP <i>(in respect of second and third floors)</i></p> <p>Farzana Siddique 109 Regina Road London SE25 4TP <i>(in respect of second and third floors)</i></p>		<p>Abid Saleem Quereshi 109 Regina Road London SE25 4TP</p> <p>Farzana Siddique 109 Regina Road London SE25 4TP</p> <p>Unoccupied <i>(in respect of 89, 91, 93, 95, 97, 99, 101, 103, 105, 111, 113, 115, 117, 119, 121 and 123 Regina Road)</i></p>
5	All interests, other than those of the acquiring authority, in 3472 square metres of gated hardstanding and overgrown area, north of residential premises known as 89 to 157 (odds) Regina Road and half width of highway known as Regina Road, London	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(including the presumption to subsoil of the highway) (and as highway authority)</i>	-	-	<p>Unoccupied</p> <p>London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(as highway authority)</i></p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
6	All interests, other than those of the acquiring authority, in 1762 square metres of half width of highways known as Regina Road and Sunny Bank, London	<p>Unknown <i>(in respect of sub soil)</i></p> <p>London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(including the presumption to subsoil of the highway)</i> <i>(and as highway authority)</i></p>	-	-	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(as highway authority)</i>
7	All interests, other than those of the acquiring authority, in 280 square metres of residential premises known as 128 Regina Road, London, SE25 4TS and of half width of highway known as Regina Road, London	<p>Paolo Rindone 128 Regina Road London SE25 4TS <i>(including the presumption to subsoil of the highway)</i></p> <p>Sec Chan Hoong 128 Regina Road London SE25 4TS <i>(including the presumption to subsoil of the highway)</i></p> <p>London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of party walls, 116 to 126 (evens) Regina Road)</i> <i>(and as highway authority)</i></p>	-	-	<p>Paolo Rindone 128 Regina Road London SE25 4TS</p> <p>Sec Chan Hoong 128 Regina Road London SE25 4TS</p> <p>London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(as highway authority)</i></p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
8	All interests, other than those of the acquiring authority, in 657 square metres of residential premises known as 116 to 126 (evens) Regina Road, London, SE25 4TS and of half width of highway known as Regina Road, London	<p>London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(including the presumption to subsoil of the highway)</i> <i>(and as highway authority)</i></p> <p>June Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of party walls, 114 Regina Road)</i></p> <p>Darren Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of party walls, 114 Regina Road)</i></p> <p>Paolo Rindone 128 Regina Road London SE25 4TS <i>(in respect of party walls)</i></p> <p>Sec Chan Hoong 128 Regina Road London SE25 4TS <i>(in respect of party walls)</i></p>	-	<p>Mukhtar Begum Ali 116 Regina Road London SE25 4TS</p> <p>Helena Draper 118 Regina Road London SE25 4TS</p> <p>Vahid Piltan 120 Regina Road London SE25 4TS</p> <p>Dwayne A Campbell 126 Regina Road London SE25 4TS</p>	<p>Mukhtar Begum Ali 116 Regina Road London SE25 4TS</p> <p>Helena Draper 118 Regina Road London SE25 4TS</p> <p>Vahid Piltan 120 Regina Road London SE25 4TS</p> <p>Dwayne A Campbell 126 Regina Road London SE25 4TS</p> <p>Unoccupied <i>(in respect of 122 and 124 Regina Road)</i></p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
8 cont					London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(as highway authority)</i>
9	All interests, other than those of the acquiring authority, in 190 square metres of residential premises known as 114 Regina Road, London, SE25 4TS	<p>June Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of 114 Regina Road)</i></p> <p>Darren Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of 114 Regina Road)</i></p> <p>London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of party walls, 116 to 126 (evens) Regina Road)</i></p> <p>Georgia Rose Francis 112 Regina Road London SE25 4TS <i>(in respect of party walls)</i></p>	-	-	Marguerite Stephenson 114 Regina Road London SE25 4TS
10	All interests in 214 square metres of residential premises known as 112 Regina Road, London, SE25 4TS	Georgia Rose Francis 112 Regina Road London SE25 4TS	-	-	Georgia Rose Francis 112 Regina Road London SE25 4TS

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
10 cont		<p>June Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of party walls, 114 Regina Road)</i></p> <p>Darren Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of party walls, 114 Regina Road)</i></p>			
11	All interests, other than those of the acquiring authority, in 13 square metres of gated access to the rear of residential premises known as 112 Regina Road, London, SE25 4TS	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	-	-	Unoccupied
12	All interests, other than those of the acquiring authority, in 266 square metres of hardstanding and pavements to the west of residential premises known as 116 to 126 (evens) Regina Road, London, SE25 4TS	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	-	-	Unoccupied
13	All interests, other than those of the acquiring authority, in 1103 square metres of car park and private access road known as Regina Road Estate, north east of residential premises known as 58 to 108 (evens) Regina Road and east of 2 to 56 (evens) Regina Road, London, SE25 4TT	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	-	-	Unoccupied

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
14	All interests, other than those of the acquiring authority, in 838 square metres of private car parking and residential premises known as Flats 1 to 8 (inclusive), 110a Regina Road, London, SE25 4TS	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	-	<p>Vanessa Messer Flat 1 110a Regina Road London SE25 4TS</p> <p>Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS</p> <p>Safiyo Ali Flat 3 110a Regina Road London SE25 4TS</p> <p>Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS</p> <p>Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS</p>	<p>Vanessa Messer Flat 1 110a Regina Road London SE25 4TS</p> <p>Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS</p> <p>Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS</p> <p>Safiyo Ali Flat 3 110a Regina Road London SE25 4TS</p> <p>The Occupier Flat 3 110a Regina Road London SE25 4TS</p> <p>Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS</p>

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
14 cont					Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS Unoccupied <i>(in respect of Flats 5, 7 and 8, 110a Regina Road)</i>
15	All interests, other than those of the acquiring authority, in 532 square metres of community centre known as Regina Road Centre, 110 Regina Road, London, SE25 4TS	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	-	-	Unoccupied
16	All interests, other than those of the acquiring authority, in 713 square metres of car park and landscaped area, east of residential premises known as 5 to 8 (inclusive), including 5A, 5B, 6A, 6B, 7A, 7B, 8A and 8B, Sunny Bank, London, SE25 4TF and half width of highway known as Sunny Bank, London	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(including the presumption to subsoil of the highway) (and as highway authority)</i>	-	-	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(as highway authority)</i>
17	All interests, other than those of the acquiring authority, in 568 square metres of residential premises known as 5 to 8 (inclusive), including 5A, 5B, 6A, 6B, 7A, 7B, 8A and 8B, Sunny Bank, London, SE25 4TF	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF <i>(in respect of ground floor only)</i> Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF <i>(in respect of ground floor only)</i>	Maxine G Fearon 5A Sunny Bank London SE25 4TF Erica Taylor 5B Sunny Bank London SE25 4TF	Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF <i>(in respect of ground floor only)</i> Maxine G Fearon 5A Sunny Bank London SE25 4TF

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
17 cont			<p>London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of second floor only, 6B Sunny Bank)</i></p> <p>Croydon Affordable Homes LLP Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of second floor only, 6B Sunny Bank)</i></p> <p>Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of second floor only, 6B Sunny Bank)</i></p> <p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of ground floor only, 7 Sunny Bank)</i></p> <p>Christine Caroline Preece 7A Sunny Bank London SE25 4TF <i>(in respect of first floor only)</i></p>	<p>Suleyman Aram 8A Sunny Bank London SE25 4TF</p> <p>Yildiz Aram 8A Sunny Bank London SE25 4TF</p> <p>Tidjiane Mbodj 8B Sunny Bank London SE25 4TF</p>	<p>Erica Taylor 5B Sunny Bank London SE25 4TF</p> <p>Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF <i>(in respect of ground floor only)</i></p> <p>Maddison Stevens 6B Sunny Bank London SE25 4TF</p> <p>Ahoefa Edjame 7 Sunny Bank London SE25 4TF</p> <p>Christine Caroline Preece 7A Sunny Bank London SE25 4TF <i>(in respect of first floor only)</i></p>

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
17 cont			Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of second floor only, 7B Sunny Bank)</i>		Kwadwo Osei 7B Sunny Bank London SE25 4TF Priscilla Buafu 7B Sunny Bank London SE25 4TF Suleyman Aram 8A Sunny Bank London SE25 4TF Yildiz Aram 8A Sunny Bank London SE25 4TF Silan Aram 8A Sunny Bank London SE25 4TF Kadir Aram 8A Sunny Bank London SE25 4TF EstablishedLDN Limited 8A Sunny Bank London SE25 4TF

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
17 cont					Tidjiane Mbodj 8B Sunny Bank London SE25 4TF Unoccupied <i>(in respect of 6A and 8 Sunny Bank)</i>
18	All interests, other than those of the acquiring authority, in 565 square metres of residential premises known as 1 to 4 (inclusive), including 1A, 1B, 2A, 2B, 3A, 3B, 4A and 4B, Sunny Bank, London, SE25 4TF	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	Afua Nyantakyiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of first floor only, 3A Sunny Bank)</i> Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF <i>(in respect of ground floor only)</i> Leigh Yang 4B Sunny Bank London SE25 4TF <i>(in respect of second floor only)</i>	Paula Osei-Tutu 1 Sunny Bank London SE25 4TF Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF Jessica L Smith 1B Sunny Bank London SE25 4TF Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF Andre T Kennedy 2A Sunny Bank London SE25 4TF	Paula Osei-Tutu 1 Sunny Bank London SE25 4TF Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF Leveena Vimal 1A Sunny Bank London SE25 4TF Leona Vimal 1A Sunny Bank London SE25 4TF Jessica L Smith 1B Sunny Bank London SE25 4TF

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
18 cont				<p>Madhukanta Gajjar 3 Sunny Bank London SE25 4TF</p> <p>Sharon Phillips 3B Sunny Bank London SE25 4TF</p>	<p>Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF</p> <p>Andre T Kennedy 2A Sunny Bank London SE25 4TF</p> <p>Madhukanta Gajjar 3 Sunny Bank London SE25 4TF</p> <p>Sharon Phillips 3B Sunny Bank London SE25 4TF</p> <p>Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF</p> <p>Leigh Yang 4B Sunny Bank London SE25 4TF</p> <p>Unoccupied <i>(in respect of 2B, 3A and 4A Sunny Bank)</i></p>

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
19	All interests, other than those of the acquiring authority, in 67 square metres of electricity sub station known as Regina Road, numbered 212118, west of residential premises known as 2 to 56 (evens) Regina Road, London	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP	-	South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP
20	All interests, other than those of the acquiring authority, in 345 square metres of residential premises known as 2 to 56 (evens), including 26A, 28A, 30A, 32A, 34A, 36A, 38A, 40A, 42A, 44A, 46A, 48A, 50A, 52A, 54A and 56A, Regina Road, London, SE25 4TU	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of second floor only, 24 Regina Road and sixth floor only, 38 Regina Road)</i> Martin Holt 34A Regina Road London SE25 4TU <i>(in respect of fifth floor only)</i> Barbara Holt 34A Regina Road London SE25 4TU <i>(in respect of fifth floor only)</i>	Aisha Nakawooya 4 Regina Road London SE25 4TU Mahmood Siddiqui 8 Regina Road London SE25 4TU The Occupier 8 Regina Road London SE25 4TU Karol D Moore 10 Regina Road London SE25 4TU Karol D Moore 10 Regina Road London SE25 4TU	Aisha Nakawooya 4 Regina Road London SE25 4TU Mahmood Siddiqui 8 Regina Road London SE25 4TU The Occupier 8 Regina Road London SE25 4TU Karol D Moore 10 Regina Road London SE25 4TU Caelan Moore-Bryce 10 Regina Road London SE25 4TU

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
20 cont				<p>Jason Lee McHugh 12 Regina Road London SE25 4TU</p> <p>Sharon M Houston 12 Regina Road London SE25 4TU</p> <p>Sabrina Mambo 16 Regina Road London SE25 4TU</p> <p>Royston Blackman 18 Regina Road London SE25 4TU</p> <p>Saba Tedla 20 Regina Road London SE25 4TU</p> <p>Sinade M Flanders 22 Regina Road London SE25 4TU</p> <p>Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU</p> <p>Angela Edwards 26 Regina Road London SE25 4TU</p>	<p>Jason Lee McHugh 12 Regina Road London SE25 4TU</p> <p>Sharon M Houston 12 Regina Road London SE25 4TU</p> <p>Martin McHugh 12 Regina Road London SE25 4TU</p> <p>Benjamin McHugh 12 Regina Road London SE25 4TU</p> <p>Sabrina Mambo 16 Regina Road London SE25 4TU</p> <p>JJM Capital Ltd 16 Regina Road London SE25 4TU</p> <p>Royston Blackman 18 Regina Road London SE25 4TU</p> <p>Saba Tedla 20 Regina Road London SE25 4TU</p>

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
20 cont				Rebecca Fox 26A Regina Road London SE25 4TU Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU Bambo Sobowale 30A Regina Road London SE25 4TU Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU Shan Shan Su 32A Regina Road London SE25 4TU Maxine Eastwood 36 Regina Road London SE25 4TU Andrea Hewitt 36A Regina Road London SE25 4TU Darnell A Lagadoue 38A Regina Road London SE25 4TU	Hevener Mulugetta 20 Regina Road London SE25 4TU Sinade M Flanders 22 Regina Road London SE25 4TU Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU Chereese Venesah Gayle 24 Regina Road London SE25 4TU Chanel Michaela Pinnock 24 Regina Road London SE25 4TU Angela Edwards 26 Regina Road London SE25 4TU Rebecca Fox 26A Regina Road London SE25 4TU Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
20 cont				<p>Prossy Joyce Banyikire 40 Regina Road London SE25 4TU</p> <p>Daniel J Blundell 40A Regina Road London SE25 4TU</p> <p>Andrea Henry 42 Regina Road London SE25 4TU</p> <p>Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU</p> <p>Calvert Graham 44A Regina Road London SE25 4TU</p> <p>Leon James McLeod 46 Regina Road London SE25 4TU</p> <p>William R Bolton 46A Regina Road London SE25 4TU</p>	<p>Bambo Sobowale 30A Regina Road London SE25 4TU</p> <p>Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU</p> <p>Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU</p> <p>Shan Shan Su 32A Regina Road London SE25 4TU</p> <p>Martin Holt 34A Regina Road London SE25 4TU</p> <p>Barbara Holt 34A Regina Road London SE25 4TU</p> <p>Maxine Eastwood 36 Regina Road London SE25 4TU</p>

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
20 cont				<p>Justyna Bach 48 Regina Road London SE25 4TU</p> <p>Szvetlana Szoroka 48A Regina Road London SE25 4TU</p> <p>M Greaves 50A Regina Road London SE25 4TU</p> <p>Adaeze U Amucheazi 52A Regina Road London SE25 4TU</p> <p>Elisa Tavares 54 Regina Road London SE25 4TU</p> <p>Simon J Wizzeyeimana 54A Regina Road London SE25 4TU</p>	<p>Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU</p> <p>Andrea Hewitt 36A Regina Road London SE25 4TU</p> <p>Reece David Curniffe 36A Regina Road London SE25 4TU</p> <p>Troy Paul Hewitt 36A Regina Road London SE25 4TU</p> <p>Darnell A Lagadoue 38A Regina Road London SE25 4TU</p> <p>Dillon Lagadoue 38A Regina Road London SE25 4TU</p> <p>Prossy Joyce Banyikire 40 Regina Road London SE25 4TU</p> <p>Vincent Mutyaba 40 Regina Road London SE25 4TU</p>

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		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
20 cont					<p>Remie Mutyaba Serunjogi 40 Regina Road London SE25 4TU</p> <p>Francis Mutyaba 40 Regina Road London SE25 4TU</p> <p>Daniel J Blundell 40A Regina Road London SE25 4TU</p> <p>Andrea Henry 42 Regina Road London SE25 4TU</p> <p>Ian Henry 42 Regina Road London SE25 4TU</p> <p>Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU</p> <p>Raymond Longhurst 42A Regina Road London SE25 4TU</p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
20 cont					<p>Calvert Graham 44A Regina Road London SE25 4TU</p> <p>Leon James McLeod 46 Regina Road London SE25 4TU</p> <p>William R Bolton 46A Regina Road London SE25 4TU</p> <p>Justyna Bach 48 Regina Road London SE25 4TU</p> <p>Sufyan Mchacti 48 Regina Road London SE25 4TU</p> <p>Szvetlana Szoroka 48A Regina Road London SE25 4TU</p> <p>Hryhorii Lentsyk 48A Regina Road London SE25 4TU</p> <p>Viktor Soroka 48A Regina Road London SE25 4TU</p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
20 cont					<p>Nataliia Soroka 48A Regina Road London SE25 4TU</p> <p>M Greaves 50A Regina Road London SE25 4TU</p> <p>Adaeze U Amucheazi 52A Regina Road London SE25 4TU</p> <p>Omega Global Limited 52A Regina Road London SE25 4TU</p> <p>Elisa Tavares 54 Regina Road London SE25 4TU</p> <p>Simon J Wizzeyeimana 54A Regina Road London SE25 4TU</p> <p>Unoccupied <i>(in respect of 2, 6, 14, 28, 30, 34, 38, 44, 50, 52, 56, 56A Regina Road)</i></p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
21	All interests, other than those of the acquiring authority, in 344 square metres of residential premises known as 58 to 108 (evens), including 74A, 76A, 78A, 80A, 82A, 84A, 86A, 88A, 90A, 92A, 94A, 96A, 98A, 100A, 102A, 104A, 106A and 108A Regina Road, London, SE25 4TT	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	-	Abdi Maye 58 Regina Road London SE25 4TT Yvonne Marshall 60 Regina Road London SE25 4TT Orane Thompson 64 Regina Road London SE25 4TT Donna Marchant 66 Regina Road London SE25 4TT Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT Fatmata Din-Bangura 72 Regina Road London SE25 4TT Sofia Mahmud 74 Regina Road London SE25 4TT	Abdi Maye 58 Regina Road London SE25 4TT Sadiq Abdi Gure 58 Regina Road London SE25 4TT Yvonne Marshall 60 Regina Road London SE25 4TT Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT Orane Thompson 64 Regina Road London SE25 4TT Donna Marchant 66 Regina Road London SE25 4TT Jazz Cleveland Webster 66 Regina Road London SE25 4TT

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
21 cont				<p>Tsige Kaleab 76A Regina Road London SE25 4TT</p> <p>Shereen T O'Connor 78 Regina Road London SE25 4TT</p> <p>Tibe Abay 78A Regina Road London SE25 4TT</p> <p>Kiara Minogue 80 Regina Road London SE25 4TT</p> <p>Sheila Kathleen Sleat 80A Regina Road London SE25 4TT</p> <p>Nathalie Vouzon 82 Regina Road London SE25 4TT</p> <p>Nedret Parmak 84 Regina Road London SE25 4TT</p> <p>Anjali Price 84A Regina Road London SE25 4TT</p>	<p>Tyree Caid Webster 66 Regina Road London SE25 4TT</p> <p>Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT</p> <p>Fatmata Din-Bangura 72 Regina Road London SE25 4TT</p> <p>The Occupier 72 Regina Road London SE25 4TT</p> <p>Sofia Mahmud 74 Regina Road London SE25 4TT</p> <p>Tsige Kaleab 76A Regina Road London SE25 4TT</p> <p>Abel Mihretab 76A Regina Road London SE25 4TT</p> <p>Noah Mihretab 76A Regina Road London SE25 4TT</p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
21 cont				<p>Yvonne Irving 86 Regina Road London SE25 4TT</p> <p>Brenda Tusubira 92A Regina Road London SE25 4TT</p> <p>Kellie-Jo Hayward 96 Regina Road London SE25 4TT</p> <p>Justina Francois 96A Regina Road London SE25 4TT</p> <p>Alison Steer 98 Regina Road London SE25 4TT</p> <p>Melanie K Newman 98A Regina Road London SE25 4TT</p> <p>Hassan Ellebbane 100A Regina Road London SE25 4TT</p> <p>Rochelle S McDonald 102A Regina Road London SE25 4TT</p>	<p>Shereen T O'Connor 78 Regina Road London SE25 4TT</p> <p>Tibe Abay 78A Regina Road London SE25 4TT</p> <p>Reuel Hadera 78A Regina Road London SE25 4TT</p> <p>Kiara Minogue 80 Regina Road London SE25 4TT</p> <p>Sheila Kathleen Sleat 80A Regina Road London SE25 4TT</p> <p>Nathalie Vouzon 82 Regina Road London SE25 4TT</p> <p>Kouadio Vouzon 82 Regina Road London SE25 4TT</p> <p>Nedret Parmak 84 Regina Road London SE25 4TT</p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
21 cont				<p>Abeo J Norman 104 Regina Road London SE25 4TT</p> <p>Margaret Humphrey 104A Regina Road London SE25 4TT</p> <p>Flora A Lambourdiere 106 Regina Road London SE25 4TT</p> <p>Natasha P Jagwani 108A Regina Road London SE25 4TT</p>	<p>Umutcan Parmak 84 Regina Road London SE25 4TT</p> <p>Smartfetch Limited 84 Regina Road London SE25 4TT</p> <p>Anjali Price 84A Regina Road London SE25 4TT</p> <p>Lawrence Lee Price 84A Regina Road London SE25 4TT</p> <p>Tye Price 84A Regina Road London SE25 4TT</p> <p>Yvonne Irving 86 Regina Road London SE25 4TT</p> <p>Kimolee Irving 86 Regina Road London SE25 4TT</p> <p>Brenda Tsubira 92A Regina Road London SE25 4TT</p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
21 cont					<p>Kellie-Jo Hayward 96 Regina Road London SE25 4TT</p> <p>Justina Francois 96A Regina Road London SE25 4TT</p> <p>Alison Steer 98 Regina Road London SE25 4TT</p> <p>Melanie K Newman 98A Regina Road London SE25 4TT</p> <p>Hassan Ellebbane 100A Regina Road London SE25 4TT</p> <p>Khadija Benaddi 100A Regina Road London SE25 4TT</p> <p>Rochelle S McDonald 102A Regina Road London SE25 4TT</p> <p>Margaret Humphrey 104A Regina Road London SE25 4TT</p>

Number on Map (1)	Extent, description and situation of the land (2)	Qualifying persons under section 12(2)(a) of the Acquisition of Land Act 1981 - name and address (3)			
		Owners or reputed owners	Lessees or reputed lessees	Tenants or reputed tenants (other than lessees)	Occupiers
21 cont					Flora A Lambourdiere 106 Regina Road London SE25 4TT Emma Lambourdiere 106 Regina Road London SE25 4TT Vivian Okparaodi 106 Regina Road London SE25 4TT Austin Ojakovo 106 Regina Road London SE25 4TT Natasha P Jagwani 108A Regina Road London SE25 4TT Unoccupied <i>(in respect of 62, 68, 74A, 76, 82A, 86A, 88, 88A, 90, 90A, 92, 94, 94A, 100, 102, 104, 106A, 108 Regina Road)</i>

Table 2

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
1	-	-	-	-
2	<p>Croydon Affordable Tenures LLP Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of 93 Regina Road)</i></p> <p>Legal & General Assurance Society Limited One Coleman Street London EC2R 5AA <i>(in respect of 93 Regina Road)</i></p> <p>Adel Mohamed Mahmoud Shoeir 107 Regina Road London SE25 4TP</p> <p>Olksandra Bryhynets 107 Regina Road London SE25 4TP</p> <p>Kateryna Bryhynets 107 Regina Road London SE25 4TP</p> <p>Abid Saleem Quereshi 109 Regina Road London SE25 4TP</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
2 cont	Farzana Siddique 109 Regina Road London SE25 4TP	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
3	Croydon Affordable Tenures LLP Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of 93 Regina Road)</i>	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Legal & General Assurance Society Limited One Coleman Street London EC2R 5AA <i>(in respect of 93 Regina Road)</i>	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Adel Mohamed Mahmoud Shoair 107 Regina Road London SE25 4TP	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Olksandra Bryhynets 107 Regina Road London SE25 4TP	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kateryna Bryhynets 107 Regina Road London SE25 4TP	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Abid Saleem Quereshi 109 Regina Road London SE25 4TP	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
3 cont	Farzana Siddique 109 Regina Road London SE25 4TP	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
4	Croydon Affordable Tenures LLP Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of 93 Regina Road)</i> HSBC UK Bank PLC 1 Centenary Square Birmingham B1 1HQ <i>(as mortgagee of a registered charge on leasehold title SGL538554, 107 Regina Road, London, SE25 4TP)</i> <i>(mortgagor Adel Mohamed Mahmoud Shoeir)</i>	Option to purchase 93 Regina Road, London, SE25 4TP <i>(Option Deed dated 9 April 2019)</i> Mortgage dated 9 April 2021		
5	Croydon Affordable Tenures LLP Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA <i>(in respect of 93 Regina Road)</i> Legal & General Assurance Society Limited One Coleman Street London EC2R 5AA <i>(in respect of 93 Regina Road)</i>	Subject to the rights granted by leases of flats within 89 to 123 (odd) Regina Road for a term of 125 years from 26 June 1989 or 125 years from 7 November 1988. Rights of drainage, water, gas and electricity supply services Subject to the rights granted by leases of flats within 89 to 123 (odd) Regina Road for a term of 125 years from 26 June 1989 or 125 years from 7 November 1988. Rights of drainage, water, gas and electricity supply services	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	Restrictive covenant not to use the car park and garages for any purpose other than private residential purposes <i>(Transfer dated 6 March 2018)</i>

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
5 cont	<p>Adel Mohamed Mahmoud Shoeir 107 Regina Road London SE25 4TP</p> <p>Olksandra Bryhynets 107 Regina Road London SE25 4TP</p> <p>Kateryna Bryhynets 107 Regina Road London SE25 4TP</p> <p>Abid Saleem Quereshi 109 Regina Road London SE25 4TP</p> <p>Farzana Siddique 109 Regina Road London SE25 4TP</p>	<p>Subject to the rights granted by leases of flats within 89 to 123 (odd) Regina Road for a term of 125 years from 26 June 1989 or 125 years from 7 November 1988.</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Subject to the rights granted by leases of flats within 89 to 123 (odd) Regina Road for a term of 125 years from 26 June 1989 or 125 years from 7 November 1988.</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Subject to the rights granted by leases of flats within 89 to 123 (odd) Regina Road for a term of 125 years from 26 June 1989 or 125 years from 7 November 1988.</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Subject to the rights granted by leases of flats within 89 to 123 (odd) Regina Road for a term of 125 years from 26 June 1989 or 125 years from 7 November 1988.</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Subject to the rights granted by leases of flats within 89 to 123 (odd) Regina Road for a term of 125 years from 26 June 1989 or 125 years from 7 November 1988.</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
6	-	-	-	-
7	Santander UK PLC 2 Triton Square Regent's Place London NW1 3AN and of, Deeds Services 101 Midsummer Boulevard Milton Keynes MK9 1AA <i>(as mortgagee of a registered charge on freehold title SGL613937, 128 Regina Road, London, SE25 4TS)</i> <i>(mortgagors Paolo Rindone and Sec Chan Hoong)</i>	Mortgage dated 1 March 2021	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	Restrictive covenants not to use 128 Regina Road for any purpose other than a dwellinghouse, no trade or business of any kind, not to become a nuisance or damage to the Council or to the adjoining owners, occupiers of adjoining premises or users of the public highway. Nothing to be done to the premises which could affect access of light and air. Maintain fence or wall on west side of the boundary. <i>(Transfer dated 22 November 1999)</i>
8	-	-	-	-
9	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	Rights to free passage and running of utilities under, over or upon 114 Regina Road and to enter upon the premises with or without workmen at reasonable times in the day to inspect, repair, maintain and renew drains, watercourses, pipe and cables. Right to uninterrupted access to light and air <i>(Transfer dated 9 November 1981)</i>	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	Restrictive covenants not to use 114 Regina Road for any purpose other than a dwellinghouse, no trade or business of any kind, not to become a nuisance or damage to the Council or to the adjoining owners, occupiers of adjoining premises or users of the public highway. Nothing to be done to the premises which could affect access of light and air. Maintain fence or wall on north and west sides of the boundary. <i>(Transfer dated 9 November 1981)</i>

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
10	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	Rights to free passage and running of utilities under, over or upon 112 Regina Road and to enter upon the premises with or without workmen at reasonable times in the day to inspect, repair, maintain and renew drains, watercourses, pipe and cables. Right to uninterrupted access to light and air <i>(Transfer dated 25 October 1993)</i>	London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA	Restrictive covenants not to use 112 Regina Road for any purpose other than a dwellinghouse, no trade or business of any kind, not to become a nuisance or damage to the Council or to the adjoining owners, occupiers of adjoining premises or users of the public highway. Nothing to be done to the premises which could affect access of light and air. Maintain fence or wall on north, east and west sides of the boundary. <i>(Transfer dated 25 October 1993)</i>
11	June Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of 114 Regina Road, London, SE25 4TS)</i> Darren Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of 114 Regina Road, London, SE25 4TS)</i> Marguerite Stephenson 114 Regina Road London SE25 4TS Georgia Rose Francis 112 Regina Road London SE25 4TS	Right of way on foot only over and along access to the rear of 114 Regina Road <i>(Transfer dated 9 November 1981)</i> Right of way on foot only over and along access to the rear of 114 Regina <i>(Transfer dated 9 November 1981)</i> Right of way on foot only over and along access to the rear of 114 Regina Road <i>(Transfer dated 9 November 1981)</i> Right of way on foot only over and along access to the rear of 112 Regina Road <i>(Transfer dated 25 October 1993)</i>	-	-

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
12	June Cornwall 13 Woodway West Wickham BR4 9LL <i>(in respect of 114 Regina Road, London, SE25 4TS)</i>	Right of way on foot only over and along footpaths and road known as Regina Road <i>(Transfer dated 9 November 1981)</i>	-	-
	Darren Cornwall 13 Woodway West Wickham BR4 9LL <i>(in respect of 114 Regina Road, London, SE25 4TS)</i>	Right of way on foot only over and along footpaths and road known as Regina Road <i>(Transfer dated 9 November 1981)</i>		
	Marguerite Stephenson 114 Regina Road London SE25 4TS	Right of way on foot only over and along footpaths and road known as Regina Road <i>(Transfer dated 9 November 1981)</i>		
	Georgia Rose Francis 112 Regina Road London SE25 4TS	Right of way on foot only over and along footpaths and road known as Regina Road <i>(Transfer dated 25 October 1993)</i>		
	Mukhtar Begum Ali 116 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Helena Draper 118 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vahid Piltan 120 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
12 cont	Dwayne A Campbell 126 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
13	Homes England Windsor House 50 Victoria Street London SW1H 0TL <i>(in part)</i> UK Power Networks (Operations) Limited Newington House 237 Southwark Bridge Road London SE1 6NP South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP Georgia Rose Francis 112 Regina Road London SE25 4TS	Restriction: no disposition of part of the registered titles SGL209762 and SY75687 in the area to the south east of Regina Road, fronting the rear access to North Wood Court private car park, and road fronting 100 Regina Road and Flats 1 to 8 (inclusive), 110a Regina Road, London, SE25 4TS is to be registered without a certificate <i>(Deed of Covenant dated 9 April 2010)</i> Rights to lay, use and maintain an electricity cable under the land for a term of 80 years from 12 June 1978 <i>(Lease of easements dated 15 July 1980)</i> Rights to lay, use and maintain an electricity cable under the land for a term of 80 years from 12 June 1978 <i>(Lease of easements dated 15 July 1980)</i> Right of way on foot Right of way on foot only over and along footpaths and road known as Regina Road <i>(Transfer dated 25 October 1993)</i>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	June Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of 114 Regina Road, London, SE25 4TS)</i>	Right of way on foot only over and along footpaths and road known as Regina Road <i>(Transfer dated 9 November 1981)</i>		
	Darren Cornwall 13 Woodland Way West Wickham BR4 9LL <i>(in respect of 114 Regina Road, London, SE25 4TS)</i>	Right of way on foot only over and along footpaths and road known as Regina Road <i>(Transfer dated 9 November 1981)</i>		
	Marguerite Stephenson 114 Regina Road London SE25 4TS	Right of way on foot only over and along footpaths and road known as Regina Road <i>(Transfer dated 9 November 1981)</i>		
	Mukhtar Begum Ali 116 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Helena Draper 118 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vahid Piltan 120 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dwayne A Campbell 126 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	<p>Vanessa Messer Flat 1 110a Regina Road London SE25 4TS</p> <p>Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS</p> <p>Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS</p> <p>Safiyo Ali Flat 3 110a Regina Road London SE25 4TS</p> <p>The Occupier Flat 3 110a Regina Road London SE25 4TS</p> <p>Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Paula Osei-Tutu 1 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leveena Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leona Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jessica L Smith 1B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	<p>Andre T Kennedy 2A Sunny Bank London SE25 4TF</p> <p>Madhukanta Gajjar 3 Sunny Bank London SE25 4TF</p> <p>Afua Nyantakyiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of 3A Sunny Bank)</i></p> <p>Sharon Phillips 3B Sunny Bank London SE25 4TF</p> <p>Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF</p> <p>Leigh Yang 4B Sunny Bank London SE25 4TF</p> <p>Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	<p>Maxine G Fearon 5A Sunny Bank London SE25 4TF</p> <p>Erica Taylor 5B Sunny Bank London SE25 4TF</p> <p>Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF</p> <p>Maddison Stevens 6B Sunny Bank London SE25 4TF</p> <p>Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of 6B Sunny Bank)</i></p> <p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of 7 Sunny Bank)</i></p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Ahoefa Edjame 7 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Christine Caroline Preece 7A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of 7B Sunny Bank)</i>	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kwadwo Osei 7B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Priscilla Buafu 7B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Suleyman Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yildiz Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Silan Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kadir Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	EstablishedLDN Limited 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tidjiane Mbodj 8B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Aisha Nakawooya 4 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Mahmood Siddiqui 8 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	The Occupier 8 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Karol D Moore 10 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Caelan Moore-Bryce 10 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jason Lee McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sharon M Houston 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Martin McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Benjamin McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sabrina Mambo 16 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	JJM Capital Ltd 16 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Royston Blackman 18 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Saba Tedla 20 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hevener Mulugetta 20 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sinade M Flanders 22 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Chereese Venesah Gayle 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Chanel Michaela Pinnock 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	<p>Angela Edwards 26 Regina Road London SE25 4TU</p> <p>Rebecca Fox 26A Regina Road London SE25 4TU</p> <p>Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU</p> <p>Bambo Sobowale 30A Regina Road London SE25 4TU</p> <p>Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU</p> <p>Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU</p> <p>Shan Shan Su 32A Regina Road London SE25 4TU</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Martin Holt 34A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Barbara Holt 34A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Maxine Eastwood 36 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Andrea Hewitt 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Reece David Curniffe 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Troy Paul Hewitt 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Darnell A Lagadoue 38A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dillon Lagadoue 38A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Prossy Joyce Banyikire 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vincent Mutyaba 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Remie Mutyaba Serunjogi 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Francis Mutyaba 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Daniel J Blundell 40A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	<p>Andrea Henry 42 Regina Road London SE25 4TU</p> <p>Ian Henry 42 Regina Road London SE25 4TU</p> <p>Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU</p> <p>Raymond Longhurst 42A Regina Road London SE25 4TU</p> <p>Calvert Graham 44A Regina Road London SE25 4TU</p> <p>Leon James McLeod 46 Regina Road London SE25 4TU</p> <p>William R Bolton 46A Regina Road London SE25 4TU</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Justyna Bach 48 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sufyan Mchachti 48 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Szvetlana Szoroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hryhorii Lentsyk 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Viktor Soroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nataliia Soroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	M Greaves 50A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	<p>Adaeze U Amucheazi 52A Regina Road London SE25 4TU</p> <p>Omega Global Limited 52A Regina Road London SE25 4TU</p> <p>Elisa Tavares 54 Regina Road London SE25 4TU</p> <p>Simon J Wizzeyeimana 54A Regina Road London SE25 4TU</p> <p>Abdi Maye 58 Regina Road London SE25 4TT</p> <p>Sadiq Abdi Gure 58 Regina Road London SE25 4TT</p> <p>Yvonne Marshall 60 Regina Road London SE25 4TT</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Orane Thompson 64 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Donna Marchant 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jazz Cleveland Webster 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tyree Caid Webster 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Fatmata Din-Bangura 72 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	The Occupier 72 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sofia Mahmud 74 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tsige Kaleab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Abel Mihretab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Noah Mihretab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Shereen T O'Connor 78 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tibe Abay 78A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Reuel Hadera 78A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kiara Minogue 80 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sheila Kathleen Sleat 80A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nathalie Vouzon 82 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kouadio Vouzon 82 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nedret Parmak 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Umutcan Parmak 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Smartfetch Limited 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Anjali Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Lawrence Lee Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tye Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yvonne Irving 86 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kimolee Irving 86 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Brenda Tusubira 92A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Kellie-Jo Hayward 96 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Justina Francois 96A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Alison Steer 98 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Melanie K Newman 98A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hassan Ellebbane 100A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Khadija Benaddi 100A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rochelle S McDonald 102A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
13 cont	Margaret Humphrey 104A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Flora A Lambourdiere 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Emma Lambourdiere 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vivian Okparaodi 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Austin Ojakovo 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Natasha P Jagwani 108A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Anchor Hanover Group 2 Godwin Street Bradford BD1 2ST <i>(in respect of North Wood Court, 130 to 136 (evens) Regina Road, London, SE25 4TY)</i>	Access to private car park		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14	Homes England Windsor House 50 Victoria Street London SW1H 0TL <i>(in part)</i>	Restriction: no disposition of part of the registered titles SGL209762 and SY75687 in the area to the south east of Regina Road, fronting the rear access to North Wood Court private car park, and road fronting 100 Regina Road and Flats 1 to 8 (inclusive), 110a Regina Road, London, SE25 4TS is to be registered without a certificate <i>(Deed of Covenant dated 9 April 2010)</i>		
	UK Power Networks (Operations) Limited Newington House 237 Southwark Bridge Road London SE1 6NP	Rights to lay, use and maintain an electricity cable under the land for a term of 80 years from 12 June 1978 <i>(Lease of easements dated 15 July 1980)</i>		
	South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP	Rights to lay, use and maintain an electricity cable under the land for a term of 80 years from 12 June 1978 <i>(Lease of easements dated 15 July 1980)</i>		
	Mukhtar Begum Ali 116 Regina Road London SE25 4TS	Right of way on foot		
	Helena Draper 118 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vahid Piltan 120 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Dwayne A Campbell 126 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Paula Osei-Tutu 1 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leveena Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leona Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jessica L Smith 1B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	<p>Andre T Kennedy 2A Sunny Bank London SE25 4TF</p> <p>Madhukanta Gajjar 3 Sunny Bank London SE25 4TF</p> <p>Afua Nyantakyiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of 3A Sunny Bank)</i></p> <p>Sharon Phillips 3B Sunny Bank London SE25 4TF</p> <p>Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF</p> <p>Leigh Yang 4B Sunny Bank London SE25 4TF</p> <p>Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	<p>Maxine G Fearon 5A Sunny Bank London SE25 4TF</p> <p>Erica Taylor 5B Sunny Bank London SE25 4TF</p> <p>Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF</p> <p>Maddison Stevens 6B Sunny Bank London SE25 4TF</p> <p>Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of 6B Sunny Bank)</i></p> <p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of 7 Sunny Bank)</i></p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Ahoefa Edjame 7 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Christine Caroline Preece 7A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of 7B Sunny Bank)</i>	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kwadwo Osei 7B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Priscilla Buaful 7B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Suleyman Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yildiz Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Silan Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kadir Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	EstablishedLDN Limited 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tidjiane Mbodj 8B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Aisha Nakawooya 4 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Mahmood Siddiqui 8 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	The Occupier 8 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Karol D Moore 10 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Caelan Moore-Bryce 10 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jason Lee McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sharon M Houston 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Martin McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Benjamin McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sabrina Mambo 16 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	JJM Capital Ltd 16 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Royston Blackman 18 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Saba Tedla 20 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hevener Mulugetta 20 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sinade M Flanders 22 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Chereese Venesah Gayle 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Chanel Michaela Pinnock 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Angela Edwards 26 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rebecca Fox 26A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Bambo Sobowale 30A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Shan Shan Su 32A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Martin Holt 34A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Barbara Holt 34A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Maxine Eastwood 36 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Andrea Hewitt 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Reece David Curniffe 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Troy Paul Hewitt 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Darnell A Lagadoue 38A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dillon Lagadoue 38A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Prossy Joyce Banyikire 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vincent Mutyaba 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Remmie Mutyaba Serunjogi 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Francis Mutyaba 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Daniel J Blundell 40A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Andrea Henry 42 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Ian Henry 42 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Raymond Longhurst 42A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Calvert Graham 44A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leon James McLeod 46 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	William R Bolton 46A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Justyna Bach 48 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sufyan Mchacti 48 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Szvetlana Szoroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hryhorii Lentsyk 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Viktor Soroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nataliia Soroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	M Greaves 50A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Adaeze U Amucheazi 52A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Omega Global Limited 52A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Elisa Tavares 54 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Simon J Wizzeyeimana 54A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Abdi Maye 58 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sadiq Abdi Gure 58 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Yvonne Marshall 60 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Orane Thompson 64 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Donna Marchant 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jazz Cleveland Webster 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tyree Caid Webster 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	<p>Fatmata Din-Bangura 72 Regina Road London SE25 4TT</p> <p>The Occupier 72 Regina Road London SE25 4TT</p> <p>Sofia Mahmud 74 Regina Road London SE25 4TT</p> <p>Tsige Kaleab 76A Regina Road London SE25 4TT</p> <p>Abel Mihretab 76A Regina Road London SE25 4TT</p> <p>Noah Mihretab 76A Regina Road London SE25 4TT</p> <p>Shereen T O'Connor 78 Regina Road London SE25 4TT</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Tibe Abay 78A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Reuel Hadera 78A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kiara Minogue 80 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sheila Kathleen Sleat 80A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nathalie Vouzon 82 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kouadio Vouzon 82 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nedret Parmak 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Umutcan Parmak 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Smartfetch Limited 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Anjali Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Lawrence Lee Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tye Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yvonne Irving 86 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kimolee Irving 86 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Brenda Tusubira 92A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kellie-Jo Hayward 96 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Justina Francois 96A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Alison Steer 98 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Melanie K Newman 98A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hassan Ellebbane 100A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Khadija Benaddi 100A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
14 cont	Rochelle S McDonald 102A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Margaret Humphrey 104A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Flora A Lambourdiere 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Emma Lambourdiere 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vivian Okparaodi 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Austin Ojakovo 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Natasha P Jagwani 108A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15	Homes England Windsor House 50 Victoria Street London SW1H 0TL <i>(in part)</i>	Restriction no disposition of the part of the registered title SY75687 in part over 110 Regina Road is to be registered without a certificate <i>(Deed of Covenant dated 9 April 2010)</i>	-	-
	South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Mukhtar Begum Ali 116 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Helena Draper 118 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vahid Piltan 120 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dwayne A Campbell 126 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vanessa Messer Flat 1 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Safiyo Ali Flat 3 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	The Occupier Flat 3 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Paula Osei-Tutu 1 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leveena Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leona Vimal 1A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jessica L Smith 1B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Andre T Kennedy 2A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	<p>Madhukanta Gajjar 3 Sunny Bank London SE25 4TF</p> <p>Afua Nyantakyiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of 3A Sunny Bank)</i></p> <p>Sharon Phillips 3B Sunny Bank London SE25 4TF</p> <p>Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF</p> <p>Leigh Yang 4B Sunny Bank London SE25 4TF</p> <p>Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF</p> <p>Maxine G Fearon 5A Sunny Bank London SE25 4TF</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	<p>Erica Taylor 5B Sunny Bank London SE25 4TF</p> <p>Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF</p> <p>Maddison Stevens 6B Sunny Bank London SE25 4TF</p> <p>Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of 6B Sunny Bank)</i></p> <p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of 7 Sunny Bank)</i></p> <p>Ahoefa Edjame 7 Sunny Bank London SE25 4TF</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Christine Caroline Preece 7A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of 7B Sunny Bank)</i>	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kwadwo Osei 7B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Priscilla Buafu 7B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Suleyman Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yildiz Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Silan Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Kadir Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	EstablishedLDN Limited 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tidjiane Mbodj 8B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Aisha Nakawooya 4 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Mahmood Siddiqui 8 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	The Occupier 8 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Karol D Moore 10 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Caelan Moore-Bryce 10 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Jason Lee McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sharon M Houston 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Martin McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Benjamin McHugh 12 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sabrina Mambo 16 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	JJM Capital Ltd 16 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Royston Blackman 18 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Saba Tedla 20 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hevenezer Mulugetta 20 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sinade M Flanders 22 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Chereese Venesah Gayle 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Chanel Michaela Pinnock 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Angela Edwards 26 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	<p>Rebecca Fox 26A Regina Road London SE25 4TU</p> <p>Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU</p> <p>Bambo Sobowale 30A Regina Road London SE25 4TU</p> <p>Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU</p> <p>Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU</p> <p>Shan Shan Su 32A Regina Road London SE25 4TU</p> <p>Martin Holt 34A Regina Road London SE25 4TU</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Barbara Holt 34A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Maxine Eastwood 36 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Andrea Hewitt 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Reece David Curniffe 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Troy Paul Hewitt 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Darnell A Lagadoue 38A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Dillon Lagadoue 38A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Prossy Joyce Banyikire 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vincent Mutyaba 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Remie Mutyaba Serunjogi 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Francis Mutyaba 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Daniel J Blundell 40A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Andrea Henry 42 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Ian Henry 42 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Raymond Longhurst 42A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Calvert Graham 44A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leon James McLeod 46 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	William R Bolton 46A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Justyna Bach 48 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Sufyan Mchacti 48 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Szvetlana Szoroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hryhorii Lentsyk 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Viktor Soroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nataliia Soroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	M Greaves 50A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Adaeze U Amucheazi 52A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Omega Global Limited 52A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Elisa Tavares 54 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Simon J Wizzeyeimana 54A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Abdi Maye 58 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sadiq Abdi Gure 58 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yvonne Marshall 60 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Orane Thompson 64 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Donna Marchant 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jazz Cleveland Webster 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tyree Caid Webster 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Fatmata Din-Bangura 72 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	The Occupier 72 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Sofia Mahmud 74 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tsige Kaleab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Abel Mihretab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Noah Mihretab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Shereen T O'Connor 78 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tibe Abay 78A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Reuel Hadera 78A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Kiara Minogue 80 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sheila Kathleen Sleat 80A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nathalie Vouzon 82 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kouadio Vouzon 82 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nedret Parmak 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Umutcan Parmak 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Smartfetch Limited 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	Anjali Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Lawrence Lee Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tye Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yvonne Irving 86 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kimolee Irving 86 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Brenda Tusubira 92A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kellie-Jo Hayward 96 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	<p>Justina Francois 96A Regina Road London SE25 4TT</p> <p>Alison Steer 98 Regina Road London SE25 4TT</p> <p>Melanie K Newman 98A Regina Road London SE25 4TT</p> <p>Hassan Ellebbane 100A Regina Road London SE25 4TT</p> <p>Khadija Benaddi 100A Regina Road London SE25 4TT</p> <p>Rochelle S McDonald 102A Regina Road London SE25 4TT</p> <p>Margaret Humphrey 104A Regina Road London SE25 4TT</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
15 cont	<p>Flora A Lambourdiere 106 Regina Road London SE25 4TT</p> <p>Emma Lambourdiere 106 Regina Road London SE25 4TT</p> <p>Vivian Okparaodi 106 Regina Road London SE25 4TT</p> <p>Austin Ojakovo 106 Regina Road London SE25 4TT</p> <p>Natasha P Jagwani 108A Regina Road London SE25 4TT</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		
16	<p>South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP</p> <p>Mukhtar Begum Ali 116 Regina Road London SE25 4TS</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>	-	-

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Helena Draper 118 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vahid Piltan 120 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dwayne A Campbell 126 Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Vanessa Messer Flat 1 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	<p>Safiyo Ali Flat 3 110a Regina Road London SE25 4TS</p> <p>The Occupier Flat 3 110a Regina Road London SE25 4TS</p> <p>Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS</p> <p>Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS</p> <p>Paula Osei-Tutu 1 Sunny Bank London SE25 4TF</p> <p>Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF</p> <p>Leveena Vimal 1A Sunny Bank London SE25 4TF</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	<p>Leona Vimal 1A Sunny Bank London SE25 4TF</p> <p>Jessica L Smith 1B Sunny Bank London SE25 4TF</p> <p>Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF</p> <p>Andre T Kennedy 2A Sunny Bank London SE25 4TF</p> <p>Madhukanta Gajjar 3 Sunny Bank London SE25 4TF</p> <p>Afua Nyantakyiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of 3A Sunny Bank)</i></p> <p>Sharon Phillips 3B Sunny Bank London SE25 4TF</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Leigh Yang 4B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Maxine G Fearon 5A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Erica Taylor 5B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Maddison Stevens 6B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	<p>Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of 6B Sunny Bank)</i></p> <p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of 7 Sunny Bank)</i></p> <p>Ahoefa Edjame 7 Sunny Bank London SE25 4TF</p> <p>Christine Caroline Preece 7A Sunny Bank London SE25 4TF</p> <p>Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of 7B Sunny Bank)</i></p> <p>Kwadwo Osei 7B Sunny Bank London SE25 4TF</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Priscilla Buaful 7B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Suleyman Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yildiz Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Silan Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kadir Aram 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	EstablishedLDN Limited 8A Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tidjiane Mbodj 8B Sunny Bank London SE25 4TF	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	<p>Aisha Nakawooya 4 Regina Road London SE25 4TU</p> <p>Mahmood Siddiqui 8 Regina Road London SE25 4TU</p> <p>The Occupier 8 Regina Road London SE25 4TU</p> <p>Karol D Moore 10 Regina Road London SE25 4TU</p> <p>Caelan Moore-Bryce 10 Regina Road London SE25 4TU</p> <p>Jason Lee McHugh 12 Regina Road London SE25 4TU</p> <p>Sharon M Houston 12 Regina Road London SE25 4TU</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	<p>Martin McHugh 12 Regina Road London SE25 4TU</p> <p>Benjamin McHugh 12 Regina Road London SE25 4TU</p> <p>Sabrina Mambo 16 Regina Road London SE25 4TU</p> <p>JJM Capital Ltd 16 Regina Road London SE25 4TU</p> <p>Royston Blackman 18 Regina Road London SE25 4TU</p> <p>Saba Tedla 20 Regina Road London SE25 4TU</p> <p>Hevenezer Mulugetta 20 Regina Road London SE25 4TU</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Sinade M Flanders 22 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Chereese Venesah Gayle 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Chanel Michaela Pinnock 24 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Angela Edwards 26 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rebecca Fox 26A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Bambo Sobowale 30A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Shan Shan Su 32A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Martin Holt 34A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Barbara Holt 34A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Maxine Eastwood 36 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Andrea Hewitt 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Reece David Curniffe 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Troy Paul Hewitt 36A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Darnell A Lagadoue 38A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Dillon Lagadoue 38A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Prossy Joyce Banyikire 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Vincent Mutyaba 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Remie Mutyaba Serunjogi 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Francis Mutyaba 40 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Daniel J Blundell 40A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Andrea Henry 42 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Ian Henry 42 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	<p>Raymond Longhurst 42A Regina Road London SE25 4TU</p> <p>Calvert Graham 44A Regina Road London SE25 4TU</p> <p>Leon James McLeod 46 Regina Road London SE25 4TU</p> <p>William R Bolton 46A Regina Road London SE25 4TU</p> <p>Justyna Bach 48 Regina Road London SE25 4TU</p> <p>Sufyan Mchachti 48 Regina Road London SE25 4TU</p> <p>Szvetlana Szoroka 48A Regina Road London SE25 4TU</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Hryhorii Lentsyk 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Viktor Soroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nataliia Soroka 48A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	M Greaves 50A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Adaeze U Amucheazi 52A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Omega Global Limited 52A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Elisa Tavares 54 Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Simon J Wizzeyeimana 54A Regina Road London SE25 4TU	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Abdi Maye 58 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sadiq Abdi Gure 58 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yvonne Marshall 60 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Orane Thompson 64 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Donna Marchant 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Jazz Cleveland Webster 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tyree Caid Webster 66 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Fatmata Din-Bangura 72 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	The Occupier 72 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sofia Mahmud 74 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tsige Kaleab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Abel Mihretab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Noah Mihretab 76A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Shereen T O'Connor 78 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Tibe Abay 78A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Reuel Hadera 78A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kiara Minogue 80 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Sheila Kathleen Sleat 80A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Nathalie Vouzon 82 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kouadio Vouzon 82 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Nedret Parmak 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Umutcan Parmak 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Smartfetch Limited 84 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Anjali Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Lawrence Lee Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Tye Price 84A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Yvonne Irving 86 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kimolee Irving 86 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Brenda Tusubira 92A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Kellie-Jo Hayward 96 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Justina Francois 96A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Alison Steer 98 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	Melanie K Newman 98A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Hassan Ellebbane 100A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Khadija Benaddi 100A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Rochelle S McDonald 102A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Margaret Humphrey 104A Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Flora A Lambourdiere 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		
	Emma Lambourdiere 106 Regina Road London SE25 4TT	Right of way on foot. Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
16 cont	<p>Vivian Okparaodi 106 Regina Road London SE25 4TT</p> <p>Austin Ojakovo 106 Regina Road London SE25 4TT</p> <p>Natasha P Jagwani 108A Regina Road London SE25 4TT</p>	<p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p>		
17	<p>Leeds Building Society 26 Sovereign Street Leeds LS1 4BJ <i>(as mortgagee of a registered charge on leasehold title SGL634033, 5 Sunny Bank, London, SE25 4TF)</i> <i>(mortgagor Robert Michael Paul Williams)</i></p> <p>Bank of Scotland PLC The Mound Edinburgh EH1 1YZ and of, Halifax Division 1 Lovell Park Road Leeds LS1 1NS <i>(as mortgagee of a registered charge on leasehold title SGL831411, 6 Sunny Bank, London, SE25 4TF)</i> <i>(mortgagor Mateus Edmiro Fernandes Dos Santos)</i></p>	<p>Mortgage dated 27 February 2015</p> <p>Mortgage dated 4 April 2022</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	<p>Anchor Hanover Group 2 Godwin Street Bradford BD1 2ST (Anchor Housing Association)</p> <p>London Borough of Croydon Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA</p> <p>Croydon Affordable Homes LLP Bernard Weatherill House 8 Mint Walk Croydon CR0 1EA</p> <p>Paragon Bank PLC 51 Homer Road Solihull B91 3QJ (as mortgagee of a registered charge on leasehold title SGL622899, 7 Sunny Bank, London, SE25 4TF) (mortgagor CJM Property Investments Limited)</p>	<p>Right of car parking space and access way for 6 Sunny Bank, London, SE25 4TF (Licence under land dated 12 June 1978)</p> <p>Option to purchase leasehold SGL792961, 6B Sunny Bank, London, SE25 4TF (Option Deed dated 2 November 2017)</p> <p>Option to purchase leasehold SGL792968, 6B Sunny Bank, London, SE25 4TF (Option Deed dated 2 November 2017)</p> <p>Mortgage dated 25 November 2019</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	<p>Santander UK PLC 2 Triton Square Regent's Place London NW1 3AN and of, Deeds Services 101 Midsummer Boulevard Milton Keynes MK9 1AA <i>(as mortgagee of a registered charge on freehold title SGL812797, 7a Sunny Bank, London, SE25 4TF)</i> <i>(mortgagor Christine Caroline Preece)</i></p> <p>South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP</p> <p>Mukhtar Begum Ali 116 Regina Road London SE25 4TS</p> <p>Helena Draper 118 Regina Road London SE25 4TS</p> <p>Vahid Piltan 120 Regina Road London SE25 4TS</p>	<p>Mortgage dated 2 March 2020</p> <p>Right of way on foot. Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Dwayne A Campbell 126 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Vanessa Messer Flat 1 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Safiyo Ali Flat 3 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	The Occupier Flat 3 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Paula Osei-Tutu 1 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Leveena Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Leona Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Jessica L Smith 1B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	<p>Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF</p> <p>Andre T Kennedy 2A Sunny Bank London SE25 4TF</p> <p>Madhukanta Gajjar 3 Sunny Bank London SE25 4TF</p> <p>Afua Nyantakyiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of 3A Sunny Bank)</i></p> <p>Sharon Phillips 3B Sunny Bank London SE25 4TF</p> <p>Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF</p> <p>Leigh Yang 4B Sunny Bank London SE25 4TF</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Aisha Nakawooya 4 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Mahmood Siddiqui 8 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	The Occupier 8 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Karol D Moore 10 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Caelan Moore-Bryce 10 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jason Lee McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sharon M Houston 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Martin McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Benjamin McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sabrina Mambo 16 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	JJM Capital Ltd 16 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Royston Blackman 18 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Saba Tedla 20 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Hevener Mulugetta 20 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Sinade M Flanders 22 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Chereese Venesah Gayle 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Chanel Michaela Pinnock 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Angela Edwards 26 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Rebecca Fox 26A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Bambo Sobowale 30A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Shan Shan Su 32A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Martin Holt 34A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Barbara Holt 34A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Maxine Eastwood 36 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	<p>Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU</p> <p>Andrea Hewitt 36A Regina Road London SE25 4TU</p> <p>Reece David Curniffe 36A Regina Road London SE25 4TU</p> <p>Troy Paul Hewitt 36A Regina Road London SE25 4TU</p> <p>Darnell A Lagadoue 38A Regina Road London SE25 4TU</p> <p>Dillon Lagadoue 38A Regina Road London SE25 4TU</p> <p>Prossy Joyce Banyikire 40 Regina Road London SE25 4TU</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Vincent Mutyaba 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Remie Mutyaba Serunjogi 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Francis Mutyaba 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Daniel J Blundell 40A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Andrea Henry 42 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Ian Henry 42 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Raymond Longhurst 42A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Calvert Graham 44A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Leon James McLeod 46 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	William R Bolton 46A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Justyna Bach 48 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sufyan Mchachti 48 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Szvetlana Szoroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Hryhorii Lentsyk 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Viktor Soroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Nataliia Soroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	M Greaves 50A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Adaeze U Amucheazi 52A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Omega Global Limited 52A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Elisa Tavares 54 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Simon J Wizzeyeimana 54A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Abdi Maye 58 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sadiq Abdi Gure 58 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Yvonne Marshall 60 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Orane Thompson 64 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Donna Marchant 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Jazz Cleveland Webster 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tyree Caid Webster 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Fatmata Din-Bangura 72 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	The Occupier 72 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sofia Mahmud 74 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tsige Kaleab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Abel Mihretab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Noah Mihretab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Shereen T O'Connor 78 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tibe Abay 78A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Reuel Hadera 78A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kiara Minogue 80 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sheila Kathleen Sleat 80A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Nathalie Vouzon 82 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kouadio Vouzon 82 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Nedret Parmak 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Umutcan Parmak 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Smartfetch Limited 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Anjali Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Lawrence Lee Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Tye Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Yvonne Irving 86 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kimolee Irving 86 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Brenda Tusubira 92A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kellie-Jo Hayward 96 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Justina Francois 96A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Alison Steer 98 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	Melanie K Newman 98A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Hassan Ellebbane 100A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Khadija Benaddi 100A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Rochelle S McDonald 102A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Margaret Humphrey 104A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Flora A Lambourdiere 106 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Emma Lambourdiere 106 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
17 cont	<p>Vivian Okparaodi 106 Regina Road London SE25 4TT</p> <p>Austin Ojakovo 106 Regina Road London SE25 4TT</p> <p>Natasha P Jagwani 108A Regina Road London SE25 4TT</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		
18	<p>National Westminster Bank PLC 250 Bishopsgate London EC2M 4AA and of; Mortgage Centre P.O. Box 123 Greenock PA15 1EF <i>(as mortgagee of a registered charge on leasehold title SGL694319, 3A Sunny Bank, London, SE25 4TF)</i> <i>(mortgagor Afua Nyantakyiwaa)</i></p> <p>South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP</p>	<p>Mortgage dated 5 August 2019</p> <p>Rights to lay, use and maintain an electricity cable under the land for a term of 80 years from 12 June 1978 <i>(Lease of easements dated 15 July 1980)</i></p> <p>Right of way on foot</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Mukhtar Begum Ali 116 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Helena Draper 118 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Vahid Piltan 120 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Dwayne A Campbell 126 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Vanessa Messer Flat 1 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Safiyo Ali Flat 3 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	The Occupier Flat 3 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Maddison Stevens 6B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of 6B Sunny Bank)</i>	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	<p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of 7 Sunny Bank)</i></p> <p>Ahoefa Edjame 7 Sunny Bank London SE25 4TF</p> <p>Christine Caroline Preece 7A Sunny Bank London SE25 4TF</p> <p>Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of 7B Sunny Bank)</i></p> <p>Kwadwo Osei 7B Sunny Bank London SE25 4TF</p> <p>Priscilla Buaful 7B Sunny Bank London SE25 4TF</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Suleyman Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Yildiz Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Silan Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Kadir Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	EstablishedLDN Limited 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Tidjiane Mbodj 8B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Aisha Nakawooya 4 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Mahmood Siddiqui 8 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	The Occupier 8 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Karol D Moore 10 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Caelan Moore-Bryce 10 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jason Lee McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sharon M Houston 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Martin McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Benjamin McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Sabrina Mambo 16 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	JJM Capital Ltd 16 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Royston Blackman 18 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Saba Tedla 20 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Hevener Mulugetta 20 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sinade M Flanders 22 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Chereese Venesah Gayle 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Chanel Michaela Pinnock 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Angela Edwards 26 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Rebecca Fox 26A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Bambo Sobowale 30A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Shan Shan Su 32A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Martin Holt 34A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Barbara Holt 34A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Maxine Eastwood 36 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Andrea Hewitt 36A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	<p>Reece David Curniffe 36A Regina Road London SE25 4TU</p> <p>Troy Paul Hewitt 36A Regina Road London SE25 4TU</p> <p>Darnell A Lagadoue 38A Regina Road London SE25 4TU</p> <p>Dillon Lagadoue 38A Regina Road London SE25 4TU</p> <p>Prossy Joyce Banyikire 40 Regina Road London SE25 4TU</p> <p>Vincent Mutyaba 40 Regina Road London SE25 4TU</p> <p>Remmie Mutyaba Serunjogi 40 Regina Road London SE25 4TU</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Francis Mutyaba 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Daniel J Blundell 40A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Andrea Henry 42 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Ian Henry 42 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Raymond Longhurst 42A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Calvert Graham 44A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Leon James McLeod 46 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	William R Bolton 46A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Justyna Bach 48 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sufyan Mchachti 48 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Szvetlana Szoroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Hryhorii Lentsyk 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Viktor Soroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Nataliia Soroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	M Greaves 50A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Adaeze U Amucheazi 52A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Omega Global Limited 52A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Elisa Tavares 54 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Simon J Wizzeyeimana 54A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Abdi Maye 58 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Sadiq Abdi Gure 58 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Yvonne Marshall 60 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Orane Thompson 64 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Donna Marchant 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Jazz Cleveland Webster 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tyree Caid Webster 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	<p>Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT</p> <p>Fatmata Din-Bangura 72 Regina Road London SE25 4TT</p> <p>The Occupier 72 Regina Road London SE25 4TT</p> <p>Sofia Mahmud 74 Regina Road London SE25 4TT</p> <p>Tsige Kaleab 76A Regina Road London SE25 4TT</p> <p>Abel Mihretab 76A Regina Road London SE25 4TT</p> <p>Noah Mihretab 76A Regina Road London SE25 4TT</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Shereen T O'Connor 78 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tibe Abay 78A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Reuel Hadera 78A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kiara Minogue 80 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sheila Kathleen Sleat 80A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Nathalie Vouzon 82 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kouadio Vouzon 82 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Nedret Parmak 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Umutcan Parmak 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Smartfetch Limited 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Anjali Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Lawrence Lee Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tye Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Yvonne Irving 86 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	<p>Kimolee Irving 86 Regina Road London SE25 4TT</p> <p>Brenda Tusubira 92A Regina Road London SE25 4TT</p> <p>Kellie-Jo Hayward 96 Regina Road London SE25 4TT</p> <p>Justina Francois 96A Regina Road London SE25 4TT</p> <p>Alison Steer 98 Regina Road London SE25 4TT</p> <p>Melanie K Newman 98A Regina Road London SE25 4TT</p> <p>Hassan Ellebbane 100A Regina Road London SE25 4TT</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	<p>Khadija Benaddi 100A Regina Road London SE25 4TT</p> <p>Rochelle S McDonald 102A Regina Road London SE25 4TT</p> <p>Margaret Humphrey 104A Regina Road London SE25 4TT</p> <p>Flora A Lambourdiere 106 Regina Road London SE25 4TT</p> <p>Emma Lambourdiere 106 Regina Road London SE25 4TT</p> <p>Vivian Okparaodi 106 Regina Road London SE25 4TT</p> <p>Austin Ojakovo 106 Regina Road London SE25 4TT</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
18 cont	Natasha P Jagwani 108A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
19	Mukhtar Begum Ali 116 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Helena Draper 118 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Vahid Piltan 120 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Dwayne A Campbell 126 Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Vanessa Messer Flat 1 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Safiyo Ali Flat 3 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	The Occupier Flat 3 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Paula Osei-Tutu 1 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Leveena Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Leona Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Jessica L Smith 1B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Andre T Kennedy 2A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Madhukanta Gajjar 3 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	<p>Afua Nyantakyiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of 3A Sunny Bank)</i></p> <p>Sharon Phillips 3B Sunny Bank London SE25 4TF</p> <p>Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF</p> <p>Leigh Yang 4B Sunny Bank London SE25 4TF</p> <p>Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF</p> <p>Maxine G Fearon 5A Sunny Bank London SE25 4TF</p> <p>Erica Taylor 5B Sunny Bank London SE25 4TF</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	<p>Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF</p> <p>Maddison Stevens 6B Sunny Bank London SE25 4TF</p> <p>Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of 6B Sunny Bank)</i></p> <p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of 7 Sunny Bank)</i></p> <p>Ahoefa Edjame 7 Sunny Bank London SE25 4TF</p> <p>Christine Caroline Preece 7A Sunny Bank London SE25 4TF</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of 7B Sunny Bank)</i>	Rights of drainage, water, gas and electricity supply services		
	Kwadwo Osei 7B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Priscilla Buafu 7B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Suleyman Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Yildiz Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Silan Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Kadir Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	EstablishedLDN Limited 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Tidjiane Mbodj 8B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Aisha Nakawooya 4 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Mahmood Siddiqui 8 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	The Occupier 8 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Karol D Moore 10 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Caelan Moore-Bryce 10 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	<p>Jason Lee McHugh 12 Regina Road London SE25 4TU</p> <p>Sharon M Houston 12 Regina Road London SE25 4TU</p> <p>Martin McHugh 12 Regina Road London SE25 4TU</p> <p>Benjamin McHugh 12 Regina Road London SE25 4TU</p> <p>Sabrina Mambo 16 Regina Road London SE25 4TU</p> <p>JJM Capital Ltd 16 Regina Road London SE25 4TU</p> <p>Royston Blackman 18 Regina Road London SE25 4TU</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Saba Tedla 20 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Hevener Mulugetta 20 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sinade M Flanders 22 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Chereese Venesah Gayle 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Chanel Michaela Pinnock 24 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Angela Edwards 26 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Rebecca Fox 26A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Bambo Sobowale 30A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Shan Shan Su 32A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Martin Holt 34A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Barbara Holt 34A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Maxine Eastwood 36 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Andrea Hewitt 36A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Reece David Curniffe 36A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Troy Paul Hewitt 36A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Darnell A Lagadoue 38A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Dillon Lagadou 38A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Prossy Joyce Banyikire 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Vincent Mutyaba 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Remie Mutyaba Serunjogi 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Francis Mutyaba 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Daniel J Blundell 40A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Andrea Henry 42 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Ian Henry 42 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Raymond Longhurst 42A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Calvert Graham 44A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Leon James McLeod 46 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	William R Bolton 46A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Justyna Bach 48 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Sufyan Mchacti 48 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Szvetlana Szoroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Hryhorii Lentsyk 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Viktor Soroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Nataliia Soroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	M Greaves 50A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Adaeze U Amucheazi 52A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Omega Global Limited 52A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Elisa Tavares 54 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Simon J Wizzeyeimana 54A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Abdi Maye 58 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sadiq Abdi Gure 58 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Yvonne Marshall 60 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Orane Thompson 64 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Donna Marchant 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Jazz Cleveland Webster 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tyree Caid Webster 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Fatmata Din-Bangura 72 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	The Occupier 72 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Sofia Mahmud 74 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tsige Kaleab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Abel Mihretab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Noah Mihretab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Shereen T O'Connor 78 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tibe Abay 78A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Reuel Hadera 78A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Kiara Minogue 80 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sheila Kathleen Sleat 80A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Nathalie Vouzon 82 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kouadio Vouzon 82 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Nedret Parmak 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Umutcan Parmak 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Smartfetch Limited 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Anjali Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Lawrence Lee Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tye Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Yvonne Irving 86 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kimolee Irving 86 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Brenda Tusubira 92A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kellie-Jo Hayward 96 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	Justina Francois 96A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Alison Steer 98 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Melanie K Newman 98A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Hassan Ellebbane 100A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Khadija Benaddi 100A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Rochelle S McDonald 102A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Margaret Humphrey 104A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
19 cont	<p>Flora A Lambourdiere 106 Regina Road London SE25 4TT</p> <p>Emma Lambourdiere 106 Regina Road London SE25 4TT</p> <p>Vivian Okparaodi 106 Regina Road London SE25 4TT</p> <p>Austin Ojakovo 106 Regina Road London SE25 4TT</p> <p>Natasha P Jagwani 108A Regina Road London SE25 4TT</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		
20	<p>South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP</p> <p>Mukhtar Begum Ali 116 Regina Road London SE25 4TS</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	<p>Helena Draper 118 Regina Road London SE25 4TS</p> <p>Vahid Piltan 120 Regina Road London SE25 4TS</p> <p>Dwayne A Campbell 126 Regina Road London SE25 4TS</p> <p>Vanessa Messer Flat 1 110a Regina Road London SE25 4TS</p> <p>Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS</p> <p>Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Safiyo Ali Flat 3 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	The Occupier Flat 3 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS	Rights of drainage, water, gas and electricity supply services		
	Paula Osei-Tutu 1 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Leveena Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Leona Vimal 1A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Jessica L Smith 1B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Andre T Kennedy 2A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Madhukanta Gajjar 3 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Afua Nyantakiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of 3A Sunny Bank)</i>	Rights of drainage, water, gas and electricity supply services		
	Sharon Phillips 3B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Leigh Yang 4B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Maxine G Fearon 5A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Erica Taylor 5B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Maddison Stevens 6B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	<p>Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of 6B Sunny Bank)</i></p> <p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of 7 Sunny Bank)</i></p> <p>Ahoefa Edjame 7 Sunny Bank London SE25 4TF</p> <p>Christine Caroline Preece 7A Sunny Bank London SE25 4TF</p> <p>Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of 7B Sunny Bank)</i></p> <p>Kwadwo Osei 7B Sunny Bank London SE25 4TF</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Priscilla Buaful 7B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Suleyman Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Yildiz Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Silan Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Kadir Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	EstablishedLDN Limited 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Tidjiane Mbodj 8B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Abdi Maye 58 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sadiq Abdi Gure 58 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Yvonne Marshall 60 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Khadeem Marshall-Swaby 60 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Orane Thompson 64 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Donna Marchant 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Jazz Cleveland Webster 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Tyree Caid Webster 66 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Isiaka Kenny Rahaman 70 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Fatmata Din-Bangura 72 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	The Occupier 72 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sofia Mahmud 74 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tsige Kaleab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Abel Mihretab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Noah Mihretab 76A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Shereen T O'Connor 78 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tibe Abay 78A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Reuel Hadera 78A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kiara Minogue 80 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Sheila Kathleen Sleat 80A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Nathalie Vouzon 82 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Kouadio Vouzon 82 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Nedret Parmak 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Umutcan Parmak 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Smartfetch Limited 84 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Anjali Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Lawrence Lee Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Tye Price 84A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Yvonne Irving 86 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kimolee Irving 86 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Brenda Tusubira 92A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Kellie-Jo Hayward 96 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Justina Francois 96A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Alison Steer 98 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Melanie K Newman 98A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	Hassan Ellebbane 100A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Khadija Benaddi 100A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Rochelle S McDonald 102A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Margaret Humphrey 104A Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Flora A Lambourdiere 106 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Emma Lambourdiere 106 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		
	Vivian Okparaodi 106 Regina Road London SE25 4TT	Rights of drainage, water, gas and electricity supply services		

Number on Map (4)	Other qualifying persons under section 12(2A)(a) of the Acquisition of Land Act 1981 (5)		Other qualifying persons under section 12(2A)(b) of the Acquisition of Land Act 1981 - not otherwise shown in Tables 1 & 2 (6)	
	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
20 cont	<p>Austin Ojakovo 106 Regina Road London SE25 4TT</p> <p>Natasha P Jagwani 108A Regina Road London SE25 4TT</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		
21	<p>South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP</p> <p>Mukhtar Begum Ali 116 Regina Road London SE25 4TS</p> <p>Helena Draper 118 Regina Road London SE25 4TS</p> <p>Vahid Piltan 120 Regina Road London SE25 4TS</p> <p>Dwayne A Campbell 126 Regina Road London SE25 4TS</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	<p>Vanessa Messer Flat 1 110a Regina Road London SE25 4TS</p> <p>Tranquil Ambience Property Services Limited Flat 1 110a Regina Road London SE25 4TS</p> <p>Rosemary Obeng Flat 2 110a Regina Road London SE25 4TS</p> <p>Safiyo Ali Flat 3 110a Regina Road London SE25 4TS</p> <p>The Occupier Flat 3 110a Regina Road London SE25 4TS</p> <p>Sophia Nesbeth Flat 4 110a Regina Road London SE25 4TS</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	<p>Clarine K Mitchell Flat 6 110a Regina Road London SE25 4TS</p> <p>Paula Osei-Tutu 1 Sunny Bank London SE25 4TF</p> <p>Rajalekshmi Vimal 1A Sunny Bank London SE25 4TF</p> <p>Leveena Vimal 1A Sunny Bank London SE25 4TF</p> <p>Leona Vimal 1A Sunny Bank London SE25 4TF</p> <p>Jessica L Smith 1B Sunny Bank London SE25 4TF</p> <p>Dominique Vulpio-Clarke 2 Sunny Bank London SE25 4TF</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Andre T Kennedy 2A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Madhukanta Gajjar 3 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Afua Nyantakyiwaa 97 Peaches Close Cheam Sutton SM2 7BL <i>(in respect of 3A Sunny Bank)</i>	Rights of drainage, water, gas and electricity supply services		
	Sharon Phillips 3B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Rachel Elaine Ruth Combes 4 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Leigh Yang 4B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Robert Michael Paul Williams 5 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	<p>Maxine G Fearon 5A Sunny Bank London SE25 4TF</p> <p>Erica Taylor 5B Sunny Bank London SE25 4TF</p> <p>Mateus Edmiro Fernandes Dos Santos 6 Sunny Bank London SE25 4TF</p> <p>Maddison Stevens 6B Sunny Bank London SE25 4TF</p> <p>Canada Life Limited Canada Life Place Potters Bar EN6 5BA <i>(in respect of 6B Sunny Bank)</i></p> <p>CJM Property Investments Limited 266-268 Wickham Road Shirley Croydon CR0 8BJ and 23 The Bridle Road Purley CR8 3JB <i>(in respect of 7 Sunny Bank)</i></p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Ahoefa Edjame 7 Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Christine Caroline Preece 7A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Flockcourt Limited Regina House 124 Finchley Road London NW3 5JS <i>(in respect of 7B Sunny Bank)</i>	Rights of drainage, water, gas and electricity supply services		
	Kwadwo Osei 7B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Priscilla Buaful 7B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Suleyman Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Yildiz Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Silan Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Kadir Aram 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	EstablishedLDN Limited 8A Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Tidjiane Mbodj 8B Sunny Bank London SE25 4TF	Rights of drainage, water, gas and electricity supply services		
	Aisha Nakawooya 4 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Mahmood Siddiqui 8 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	The Occupier 8 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Karol D Moore 10 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Caelan Moore-Bryce 10 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jason Lee McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sharon M Houston 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Martin McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Benjamin McHugh 12 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sabrina Mambo 16 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	JJM Capital Ltd 16 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	<p>Royston Blackman 18 Regina Road London SE25 4TU</p> <p>Saba Tedla 20 Regina Road London SE25 4TU</p> <p>Hevenezer Mulugetta 20 Regina Road London SE25 4TU</p> <p>Sinade M Flanders 22 Regina Road London SE25 4TU</p> <p>Cheryl Marie Gayle-Dixon 24 Regina Road London SE25 4TU</p> <p>Chereese Venesah Gayle 24 Regina Road London SE25 4TU</p> <p>Chanel Michaela Pinnock 24 Regina Road London SE25 4TU</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Angela Edwards 26 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Rebecca Fox 26A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jacqueline Ngonya Mwale 28A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Bambo Sobowale 30A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Abdi Mohamed Ahmed 32 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Mohamed Abdi Ahmed 32 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Shan Shan Su 32A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Martin Holt 34A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Barbara Holt 34A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Maxine Eastwood 36 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Jasmine Eastwood-Harris 36 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Andrea Hewitt 36A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Reece David Curniffe 36A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Troy Paul Hewitt 36A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Darnell A Lagadou 38A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Dillon Lagadou 38A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Prossy Joyce Banyikire 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Vincent Mutyaba 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Remmie Mutyaba Serunjogi 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Francis Mutyaba 40 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Daniel J Blundell 40A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Andrea Henry 42 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Ian Henry 42 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Patricia T Longhurst c/o POA Raymond Longhurst 42A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Raymond Longhurst 42A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Calvert Graham 44A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Leon James McLeod 46 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	William R Bolton 46A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	Justyna Bach 48 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Sufyan Mchacti 48 Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Szvetlana Szoroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Hryhorii Lentsyk 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Viktor Soroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	Nataliia Soroka 48A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		
	M Greaves 50A Regina Road London SE25 4TU	Rights of drainage, water, gas and electricity supply services		

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	Name and address	Description of Interest to be acquired	Name and address	Description of the land for which the person in adjoining column is likely to make a claim
21 cont	<p>Adaeze U Amucheazi 52A Regina Road London SE25 4TU</p> <p>Omega Global Limited 52A Regina Road London SE25 4TU</p> <p>Elisa Tavares 54 Regina Road London SE25 4TU</p> <p>Simon J Wizzeyeimana 54A Regina Road London SE25 4TU</p>	<p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p> <p>Rights of drainage, water, gas and electricity supply services</p>		

Name and Address	GENERAL ENTRIES	
	Capacity	Qualification
South Eastern Power Networks PLC Newington House 237 Southwark Bridge Road London SE1 6NP	As statutory electricity undertaker	In respect of electricity distribution lines, cables, conduits and apparatus
UK Power Networks (Operations) Limited Newington House 237 Southwark Bridge Road London SE1 6NP	As statutory electricity undertaker	In respect of electricity distribution lines, cables, conduits and apparatus
National Grid Electricity Transmission plc 1-3 Strand London WC2N 5EH	As statutory electricity undertaker	In respect of electricity transmission lines, cables, conduits and apparatus
Southern Gas Networks plc St Lawrence House Station Approach Horley RH6 9HJ	As statutory gas undertaker	In respect of gas distribution mains, pipes and other apparatus
Zayo Group UK Ltd 4th Floor The Relay Building 114 Whitechapel High Street London E1 7PT	As statutory telecommunications undertaker	In respect of telecommunications facilities
GTC Infrastructure Limited Synergy House Woolpit Business Park Bury St. Edmunds Woolpit IP30 9UP	As statutory gas undertaker	In respect of gas distribution mains, pipes and other apparatus

GENERAL ENTRIES		
Name and Address	Capacity	Qualification
Openreach Limited 6 Gracechurch Street London EC3V 0AT	As statutory telecommunications undertaker	In respect of telecommunications facilities
Utility Assets Limited 5 Brayford Square London E1 0SG	As statutory electricity undertaker	In respect of electricity transmission lines, cables, conduits and apparatus
Virgin Media Limited 500 Brook Drive Reading RG2 6UU	As statutory telecommunications undertaker	In respect of telecommunications facilities
Community Fibre Limited 167-169 Great Portland Street London W1W 5PF	As statutory telecommunications undertaker	In respect of telecommunications facilities
London Tramlink Coomber Way Croydon Greater London CR0 4TQ	As highways	In respect of highways
Transport for London 9th Floor 5 Endeavour Square London E20 1JN	As highways	In respect of highways
Lumen Technologies UK Limited 260-266 Goswell Road London EC1V 7EB	As statutory telecommunications undertaker	In respect of telecommunications facilities

Name and Address	GENERAL ENTRIES	
	Capacity	Qualification
Mobile Broadband Network Limited Sixth Floor Thames Tower Station Road Reading RG1 1LX	As statutory telecommunications undertaker	In respect of telecommunications facilities
SOTA Solutions Limited 300 Cornworth Drive Kent Science Park Sittingbourne ME9 8PX	As statutory telecommunications undertaker	In respect of telecommunications facilities

THE COMMON SEAL OF THE MAYOR AND BURGESSES OF THE LONDON BOROUGH OF CROYDON

was hereunto affixed this *23rd* day of *March* 2026

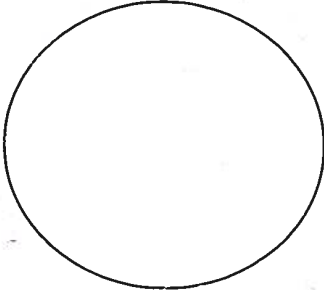
in the presence of :-

[Handwritten Signature]

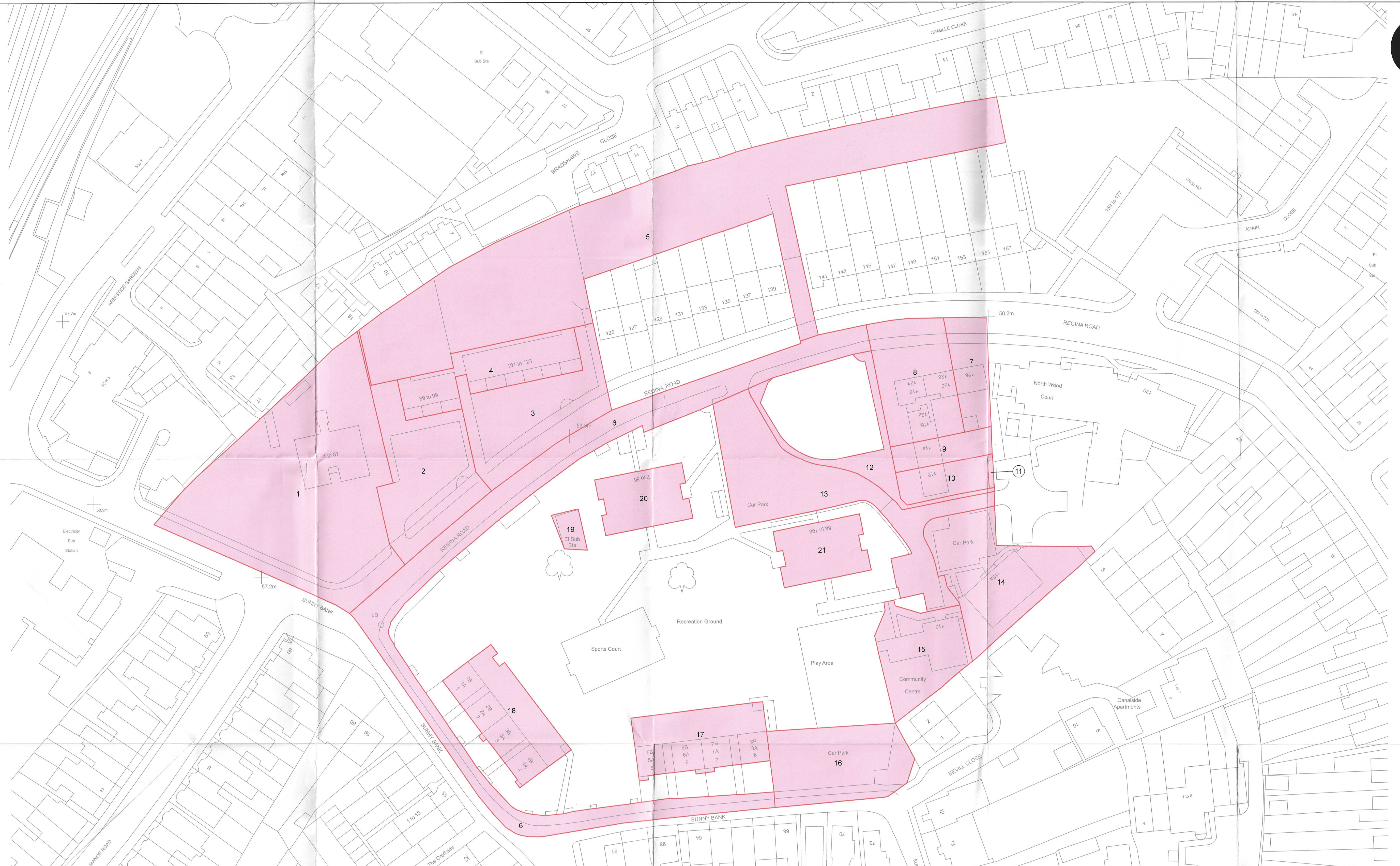
.....

A duly authorised Officer

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MAP REFERRED TO IN THE LONDON BOROUGH OF CROYDON (REGINA ROAD) COMPULSORY PURCHASE ORDER 2026



THE COMMON SEAL OF THE MAYOR AND BURGESSES
OF THE LONDON BOROUGH OF CROYDON

was hereunto affixed this 23rd day of March 2026
in the presence of:-

Ally

A duly authorised Officer



1:500 @ A1
GH-21499700001-CPO-FINAL-P02
27/02/2026

Statutory consultation results: your feedback

We'd like to thank everyone who came to speak to us, completed the survey and met with the team on the estate and the Independent Tenant and Leaseholder Advisers (ITLAs) as part of the consultation, which closed on 26 January 2023.



We have analysed all your feedback on the options of refurbishment or demolition and rebuild. We've also looked at your feedback on the Tenant and Leaseholder/Freeholder offers.

79% of you shared your views during a statutory consultation about the option to refurbish or demolish and rebuild homes within the consultation area at Regina Road.

Here's how we engaged with residents during the consultation:



Visited **127 properties**, to speak to you in your home



Held **four design sessions** with the architects



Regina Road Resident Support Group (RRRSG)
January meeting



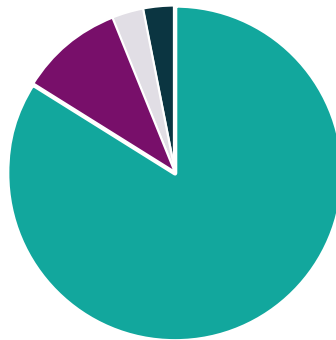
Appointed **Independent Tenant and Leaseholder Advisers**, who held five drop-in sessions during the consultation period



Ran **six engagement sessions**, which were a mix of online and face to face, either in the on-site office or at the Stanley Arts

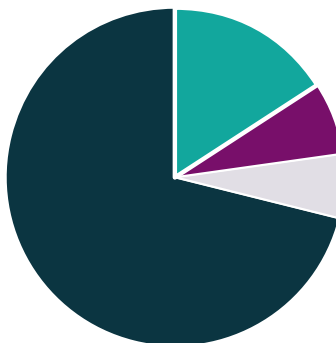
Here's what you told us:

How strongly do you agree or disagree with the option of the council demolishing the three tower blocks so that modern replacement homes can be built?



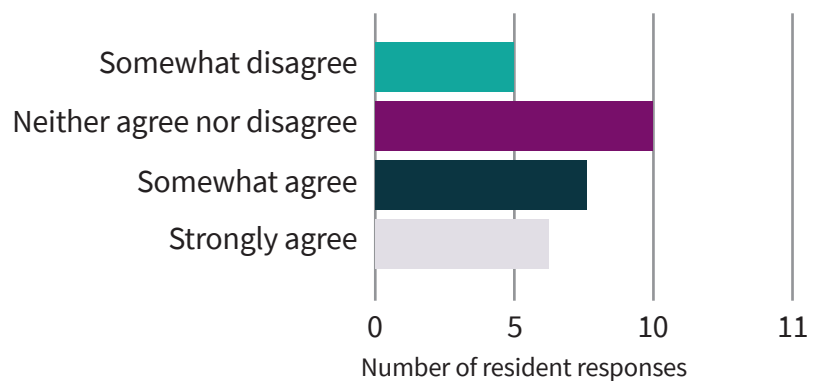
- **Strongly agree (84%)**
- **Somewhat agree (10%)**
- **Neither agree nor disagree (3%)**
- **Strongly disagree (3%)**

How strongly do you agree or disagree with the option of the council continuing to refurbish homes within the consultation area?

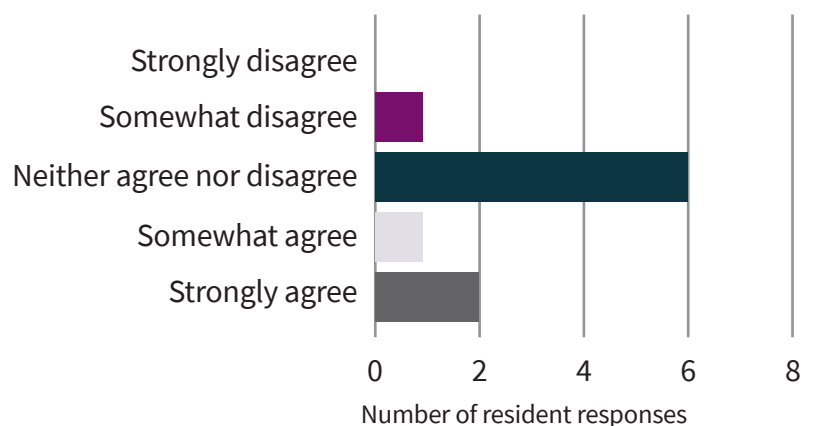


- **Strongly agree (16%)**
- **Somewhat agree (7%)**
- **Somewhat disagree (6%)**
- **Strongly disagree (71%)**

How strongly do you agree or disagree with the draft tenant offer?



How strongly do you agree or disagree with the draft leaseholder/freeholder offer?



Important next steps

On 22 March 2023, the Executive Mayor will consider a report on the outcome of the six-week statutory consultation with tenants, leaseholders, and freeholders living within the consultation area at Regina Road.

Residents were asked for their views on the option to either refurbish or demolish and rebuild homes within the consultation area on the estate, and for their views on the draft 'Landlord Offer', the council's offer to tenants, leaseholders and freeholders, if a decision is taken to demolish and rebuild homes.

Most residents that took part told us they agreed with the option of the council demolishing the three tower blocks and homes within the immediate area and the Cabinet report will set out that this is the council's recommendation, along with proposed changes to the Landlord Offer, in line with feedback received by residents during the consultation.

A decision will also be taken as to whether a ballot should be held during April and May 2023. Residents would vote to approve the revised Landlord Offer to tenants, freeholders and leaseholders. The outcome of a ballot will be reported to the Executive Mayor and Cabinet. No decisions will be made on whether homes are demolished and rebuilt until Croydon Council's Cabinet has met and any ballot held shows that this is the preferred option by the majority of eligible residents who have voted.

Please also be reassured that the council's Section 114 Notice - which stops all but essential spending - will not affect or impact the funding for works to improve homes at Regina Road as it comes from a separate budget which is ringfenced to council housing.

Where can I read the Cabinet report?

The report will be available at www.croydon.gov.uk/regina-road-consultation/about-regina-road and on Croydon Council's website from 14 March 2023. It will be presented to the Executive Mayor and Croydon Council's Cabinet at 6.30pm on Wednesday 22 March. After this meeting, we will write to you again to explain what decisions have been made, what this means for residents, and who you can talk to if you have questions.

Design of any new homes

During the consultation, you told us you wanted more information on what the estate might look like, so you could make a more informed choice. We are working with residents, including the new Resident Steering Group, to develop architects' plans. These are on display at Flat 62, Regina Road and online at www.croydon.gov.uk/reginaroad.

Here's a summary of what residents have told us during design sessions. If you have ideas for how the estate might look in the future, come to one of our community events on 18 March and 2 April and meet the architects who are working with residents on how the estate might look in the future.

The wider neighbourhood:

- Good transport links
- Strong local community
- Many residents would like to stay in the area

Security:

- Some parts of the estate do not feel safe
- Lighting is poor in parts of the estate

Outside of your home:

- The open space and playground don't always feel safe to use and residents tend to go elsewhere
- There aren't enough activities for young people
- There is nowhere to sit outside

Existing homes:

- Some owners of the lower blocks have invested in home improvements already

Existing homes:

- Ongoing problems with damp and mould
- Lack of space and storage
- No private amenity
- Amenities in communal spaces
- Mobility barriers for elderly and disabled

Parking:

- Shortage of parking spaces in some areas (eg Sunny Bank)
- It feels unsafe to leave my car on the main road

Dates for your diary

Although the formal consultation has ended, we will continue to run events and drop-ins so you know what is happening and when, and so you can talk to us if you have any concerns or questions. If you or anyone in your household is struggling to attend events or you would like a 1 to 1 appointment, just let us know.

You can email us at reginaroad@croydon.gov.uk, or call **020 8726 6100 ext. 44524**.

Your Independent Tenant and Leaseholder Advisers (ITLAs) are independent of the council and are here to support you and provide advice. Their contact details are provided below.

Title	Date & Time	Location
Community Day: an event for residents of all ages! A chance to talk to the project team, tell us about your ideas for the future of the estate and see an exhibition of the current designs. Refreshments will be provided and there will be activities for children	Saturday 18 March 2:30pm – 5:30pm	Socco Cheta Community Hub, 44b Portland Road, London, SE25 4PQ
ITLA Surgery	Wednesday 22 March 6pm – 8pm	Flat 62, Regina Road
Estate meeting following outcome of Cabinet report All residents welcome	Monday 27 March 6pm – 8pm	Stanley Arts, 12 South Norwood Hill, London, SE25 6AB
Drop-in: Dedicated session for residents living at the low-rise blocks	Tuesday 28 March 5.30pm – 8pm	Flat 62, Regina Road
Tenant Drop-in: Dedicated session for tenants to ask questions about the Landlord (Tenant) Offer	Wednesday 29 March 6.30pm – 8pm	Flat 62, Regina Road
Community Day: an event for residents of all ages! A chance to talk to the project team, tell us about your ideas for the future of the estate and see an exhibition of the current designs. Refreshments will be provided and there will be activities for children	Sunday 2 April 1pm – 4pm	Socco Cheta Community Hub, 44b Portland Road, London, SE25 4PQ
Leaseholder Drop-in: Dedicated session for leaseholders to ask questions about the Landlord (Leaseholder) Offer	Tuesday 4 April 6pm – 8pm	Flat 62, Regina Road
Estate Drop-in: (school holidays) All residents welcome	Thursday 6 April 12noon – 2pm	Flat 62, Regina Road
Weekly Drop-in Tenancy Surgeries	Tuesdays & Thursdays 10am-2pm	Flat 62, Regina Road

Do you have questions?

Contact your Independent Tenant and Leaseholder Advisors for impartial advice:

- **Rob Lantsbury:** 07961 532 761 or email rob.lantsbury@publicvoice.london
- **Christine Searle:** 07764 421 981 or email christine.searle@publicvoice.london
- **Public Voice freephone:** 0800 169 8677 or email info@publicvoice.london

UNDERSTANDING COMMUNICATIONS

If you, a family member, or neighbour would like us to provide this information in a different language, large print or audio format, please contact the team on reginaroad@croydon.gov.uk or call **020 8726 6100 ext. 44524**.

Landlord Offer





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Dear Regina Road Resident

I am incredibly grateful for all the comments you and your neighbours have sent to the Council about Regina Road. The Council has now agreed to hold a Ballot of eligible residents on the future of your home and its immediate area. The Ballot paper will ask you to answer ‘Yes’ or ‘No’ to the question:

Are you in favour of the proposal to demolish and rebuild homes as shown within the red line boundary on the Regina Road Estate?

The Ballot will open on 26 April and close on 22 May. The Ballot will be organised by Civica Elections Services, also known as CES. They are an Independent Body appointed by the Council for this purpose.

The Council tendered for this organisation through the Council’s legal procurement process.

The homes included in the Council’s proposals are indicated by the red-line boundary on the map overleaf. When we refer to the ‘Regina Road Estate’ or the ‘Estate’ in our documentation, we are describing the homes within the red-line boundary. This red-line boundary is also the boundary of the Strategic Estate Regeneration Area for the purposes of the Greater London Authority (GLA) Ballot Rules.

Residents eligible to vote under the GLA Ballot Rules will receive a Ballot Paper and instructions on how to vote. Residents who are able to vote on the future of the Regina Road Estate are anyone aged 16+ who are:

- **Social tenants and any joint tenants who have been named on the secure tenancy agreement**
- **Resident leaseholders who are named on the lease and have resided in their home for at least a year prior to the publication of the Landlord Offer on 27 March 2023**
- **Resident freeholders who are named on the deed and have resided in their home for at least a year prior to the publication of the Landlord Offer on 27 March 2023**
- **Residents who live on the estate as their principal home and who have been on the council’s housing register for at least a year regardless of tenure.**

The results of the Ballot will be announced on 26 May and included in a special edition of the Regina Road newsletter.

You can also contact **Independent Tenant and Leaseholder Advisers (ITLAs)**, who are independent from the council. Their role is to make sure you understand the options available and to support you. Here are their contact details:

Rob Lantsbury: 07961 532 761 or email rob.lantsbury@publicvoice.london

Christine Searle: 07764 421 981 or email christine.searle@publicvoice.london

Public Voice freephone: 0800 169 8677 or email info@publicvoice.london

You can also write to Public Voice at: **Public Voice CIC, Tottenham Town Hall, Town Hall Approach Road, London N15 4RX.**

You can speak with the Croydon team on reginaroad@croydon.gov.uk or call **020 8726 6100** ext. 44524.

Do have a read through the Landlord Offer and think about what it means for you. It is important that every resident eligible under the GLA Ballot Rules expresses their view on the future of Regina Road.

Yours faithfully,



Susmita Sen, Corporate Director of Housing, Croydon Council

INTRODUCTION

This booklet has been designed to contain the information you need to make an informed decision about whether you are in favour of the redevelopment of the Regina Road Estate or not. Please read it carefully so that you fully understand the proposals before you vote.

The Council recognises that an unsatisfactory situation has developed on the Regina Road Estate over recent years, with living conditions in some homes below the standards that you should expect. We therefore want to work with residents to rebuild the area to the best possible modern standards.

The Council has listened to residents and acted on your views to shape this landlord offer.

This Landlord Offer document has been created to:

- **Clarify our proposals and give certainty to residents as to how these proposals will affect them**
- **Reassure residents that an appropriate housing option will be in place**
- **Set out how they will be compensated for the disruption**
- **Provide a basis to achieve vacant possession, ideally by negotiation**
- **Provide the foundation for a resident ballot**
- **Reassure residents that the Council has put adequate resources in place from the outset to deliver on commitments made.**

Back in November 2022 when the Council agreed to consult formally with residents on the future of this area of Regina Road, the Council set out nine guiding principles for Regina Road, based on best practice in London:



Exemplar and inclusive engagement and involvement of residents from the start



Keep the community together – one move where possible and Right to Return if required to move temporarily



Compensation for the costs and disturbance for moving home



High quality homes that meet or exceed minimum space standards



A home for secure tenants that meets their need (or need +1 if over-occupying) and the same tenancy rights



Access to free independent advice



Resident involvement in design and a choice of fixtures and fittings



A fair deal for leaseholders – including buying back at full market value and options for resident homeowners to purchase



Support residents with the move, with dedicated support for those with additional needs

YOUR VIEWS

You've shared your views of about the future of the estate in a variety of ways:

- Talking to us when we've visited you at home in our outreach activity
- Responding to the statutory consultation survey
- Speaking to us at engagement sessions held at Stanley Arts (Formerly Stanley Halls), online and at 62 Regina Road
- Meeting the architects, BPTW at design sessions
- Sharing your views with the **Regina Road Resident Support Group**, who have written to the Council with a response to the statutory consultation
- Meeting with the **ITLAs**, who have represented your views to the Council
- Through attending the **Resident Working Group (RWG)** – a group of residents living across the estate who have come forward in response to the Council's advertisement to the estate and outreach activity. The RWG has been involved with the council at a strategic level and have helped shape this offer.

In response to your views, we have:

- Worked on a design option that aims to decant as many existing residents as possible in **"One Move"**
- Increased the number of offers that can be made by the Council from one to two offers to three offers of accommodation, with a reviews process
- Made clear that households, regardless of tenure who have their principal home on the estate and who have been on the housing register for at least one year prior to the date the Landlord Offer is published, will be able to vote in the ballot
- Households currently in temporary accommodation within the estate will have their tenancies converted to a secure tenancy and will then have the same rights as others on the estate to the provisions within the offer
- Ensured that the Council will deal with cases of residents withholding rent due to disrepair sensitively. Tenants are still requested to pursue necessary channels of communication with the Council if unhappy about issues within their homes
- Clarified the reviews process
- Clarified the process for compensation by way of improvements. An application process will be in place, including a schedule of works undertaken which will be reviewed by a qualified surveyor to assess whether the improvements relate to damp, mould or disrepair not already addressed by the Council
- Increased the amount we will buy back leasehold properties from 'market value' to 'market value' plus 10%
- Extended the definition of 'market value' to take account of the value of properties based on a EWS1 (External Wall System) form with an A2 risk rating in respect of fire safety.

We will continue to work with you about the future of Regina Road estate through:

- Conducting drop-in sessions and community activity on the estate
- Continuing to conduct outreach activity on the estate
- Holding sessions with the architects to inform the future design
- Attending the **Resident Working Group (RWG)** – a group of residents living across the estate who have come forward in response to the Council's advertisement to the estate and outreach activity. The RWG has been involved with the council at a strategic level and have helped shape this offer. We continue to recruit to the RWG, if you'd like to take part please contact us on reginaroad@croydon.gov.uk or call 020 8726 6100 ext. 44524.

What a Potential 'Yes' Vote Means

Our proposal to redevelop the Regina Road estate is based on the following key points and will be subject to the planning process, planning permission and other relevant permissions:

- Creation of new high-quality homes on under-utilised space within the estate.
- Aiming for as many existing residents as possible to return to new homes on the estate (if this is desired), Rehousing existing Council tenant households to a Council-rented property at or near Regina Road at social rent levels, ideally in a single move. The demolition and replacement of the Tower Blocks within early phases
- The provision of new houses to the rear of 125-157 Regina Road
- New council homes to be built to GLA space standards and conforming to high build standards.
- A new pre-school centre, that allows some community meeting facility
- New high quality external environment and play spaces
- An approximate doubling of density from 191 existing homes to approximately 380 -450 new homes, subject to the planning process and planning permission, to provide more new homes locally in addition to rehousing existing residents.
- A mix of social and private housing to help offset the cost of rebuilding homes for existing residents.

In consultation with residents the proposals have been developed to this level of detail. These proposals will result in an estimated 380-450 new homes being built (subject to the planning process and planning permission) - around 200 replacement homes for council tenants and possibly 25 replacement homes for leaseholders/freeholders.

Subject to a positive ballot, the scheme will be further developed in consultation with residents, as it is taken towards a RIBA Stage 3 design to securing planning permission. Once planning permission is granted, the overall number of homes will be fixed. The Planning application(s) will be determined against the London Plan 2021 and Croydon Local Plan 2018 unless material considerations indicate otherwise.

As a result, we know we will have to look at a range of funding to provide the additional new homes, external space and pre-school. This could be made up of loans, the sale of a proportion of the additional new homes, financial contributions from private developments elsewhere and grants from the Greater London Authority (GLA).

Therefore, we currently have a team of officers looking into all these sources of funding.

What a Potential 'No' Vote Means

If the majority of residents (eligible to vote and voting in the ballot) vote 'no' at ballot this would mean that the Council would need to reconsider its approach and we will do so in partnership with residents. We will consider different solutions to the property condition issues across the estate. A 'no' vote may present risks in relation to access to funding and potentially affect the timescales for change on the estate.

SUMMARY OF COMMITMENTS TO RESIDENTS OF REGINA ROAD ESTATE

These commitments are based upon feedback from consultation and have been drawn up in discussion with the Resident Working Group. If the vote at ballot is “yes” from the majority of residents, these commitments will include, subject to planning and other relevant permissions where relevant:

- **Dedicated support team:** We will help you to understand the proposals, the best options for you and support you move home. This team will support vulnerable residents with all aspects of their move and liaise with family members as necessary.
- **A new home for existing residents within the estate:** If you want to return to the estate we will offer you a new home in the new development that meets your housing needs. You will have your own private outdoor space or balcony.
- **A permanent move away if you want it:** If you would prefer to move away from the Regina Road Estate, we will support you to find a permanent home among the council’s existing properties in Croydon.
- **Your tenancy will stay the same:** Your tenancy rights will be the same in existing or new homes unless you choose a property with a Housing Association.
- Convert temporary accommodation licences into secure tenancies.
- **A fair and flexible offer to homeowners:** We are committed to ensuring no homeowners are worse off financially as a result of this offer. We will offer residents the option to sell your homes to us at an independently verified price plus where residents are eligible, a statutory home loss payment will be payable by the Council. Homeowners will be eligible to buy a new property on the estate on a leasehold basis. Ownership options for homeowners include shared ownership, shared equity and equity loan. We will cover all reasonable costs incurred as a result of sale/ shared equity arrangements. If homeowners don’t have enough equity to buy a new home on the Estate, we will work with you to try to find a solution that enables you to stay on the estate.
- **A commitment to high standards and high quality:** All new homes will be built to the latest standards as set out in current Building Regulations and planning policy. For existing residents all new homes will be as big, or bigger, than your current home and it will also have an outdoor private space. All homes will be energy efficient.
- **The right-of-return:** To a newly built home for households who have left Regina Road after 16 November 2022.
- **Help when moving:** We will also pay all reasonable removal expenses (as part of a ‘disturbance payment’) and help with arranging your move and setting up your home.
- **We will minimise disruption:** We will make every effort to limit disruption to you and your household.
- **You will receive compensation:** Where you meet the entitlement criteria, we will pay you a statutory home loss payment for the loss of your home. At present that statutory figure is £7,800. In addition, disturbance payments are available to cover the reasonable costs incurred as a result of moving.
- Non-resident freeholders and leaseholders are not eligible for statutory home loss but may be eligible for a basic loss payment which currently equates to 7.5% of the market value of the property or a maximum payment of £75,000, whichever is the lower. These levels are set by statute and are periodically reviewed by government.
- **Compensation for home improvements:** If you are a council tenant and have made improvements to your home, we will compensate you for these providing they were carried out with Croydon Council’s permission and you will be asked to complete an application with details of what is being claimed.
- **Tackling overcrowding:** Tenants who are overcrowded will be offered homes to meet their assessed housing need as part of this regeneration.
- **Meeting your housing need:** Council homes will be allocated according to need. Your need will be discussed and confirmed with you after planning permission has been agreed. If your need changes after this time this can be updated with the dedicated support team.
- **Ongoing consultation and communication:** We will consult you on proposals for the new development throughout the process, using a range of methods so you can influence the delivery.

THE DESIGN PROCESS

The Council has appointed BPTW Architects to work with a Resident Working Group to develop designs for the new Regina Road. Some residents will already have participated in the Design Workshops which will continue throughout the Rebuilding Project. The feedback from this initial engagement process has shaped the designs so far.



Fig. 2: Comments at design sessions made by residents



Fig. 3: Design sessions at Stanley Halls

The Architects will continue to work with the Resident Working Group to draft a Masterplan for the area and to prepare a Planning Application for a Phase One project which will be developed ahead of any demolition so the Council can start building as soon as possible.



Fig. 4: An example of a BPTW designed - regeneration [image credit BPTW]

All of the existing homes are included with the regeneration plans, and to be clear the final chosen option assumes replacement of all buildings. The Council is however aware that, on the fringe of the rebuilding area, there are blocks with differing build methods, and differing issues. The Council will work with residents of these properties to work together on the best solution for these homes as more detailed design work progresses. For now, in line with consultation feedback, we are including all blocks within the proposal.

Space Standards

Existing homes at Regina Road fall short on current space standards, have lower ceilings, no outdoor balcony space, and do not meet modern standards for thermal comfort and ventilation. There are no family-sized homes in the tower blocks, nor wheelchair accessible homes.

Fig. 5: Existing and new 1-bedroom flat size comparison



Fig. 6: Existing and new 2-bedroom flat size comparison



Nationally Described Space Standards

Table 1 - Minimum gross internal floor areas and storage (m²)

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	

* External private amenity, e.g., balconies/terraces, is additional to the areas above

Phasing Approach

Given the scale of the estate, and the specific needs of existing residents, redevelopment plans will be carried out on a phase by phase basis. The overarching aim of this is for residents to be able to move from their existing home into a new one in a single move without the need to move to temporary accommodation.

Phase 1 is proposed to include a nearby site for an estimated 9 new homes, plus around 120 new homes at Regina Road. This should be sufficient to rehouse all existing households who are living in Council tenanted property at Regina Road. The Council is also purchasing some newly built homes nearby for early moves.



Fig 7: Indicative phasing plan [image credit BPTW]



Fig 8: Indicative phasing plan [image credit BPTW]

Energy Efficiency

All new homes, including a mix of houses, maisonettes and flats will be designed to the latest standards in terms of internal space and storage, thermal comfort and air quality, fire safety, private amenity provision (e.g. balconies, terraces). All homes will be energy efficient which will ensure lower utility bills for the future users.

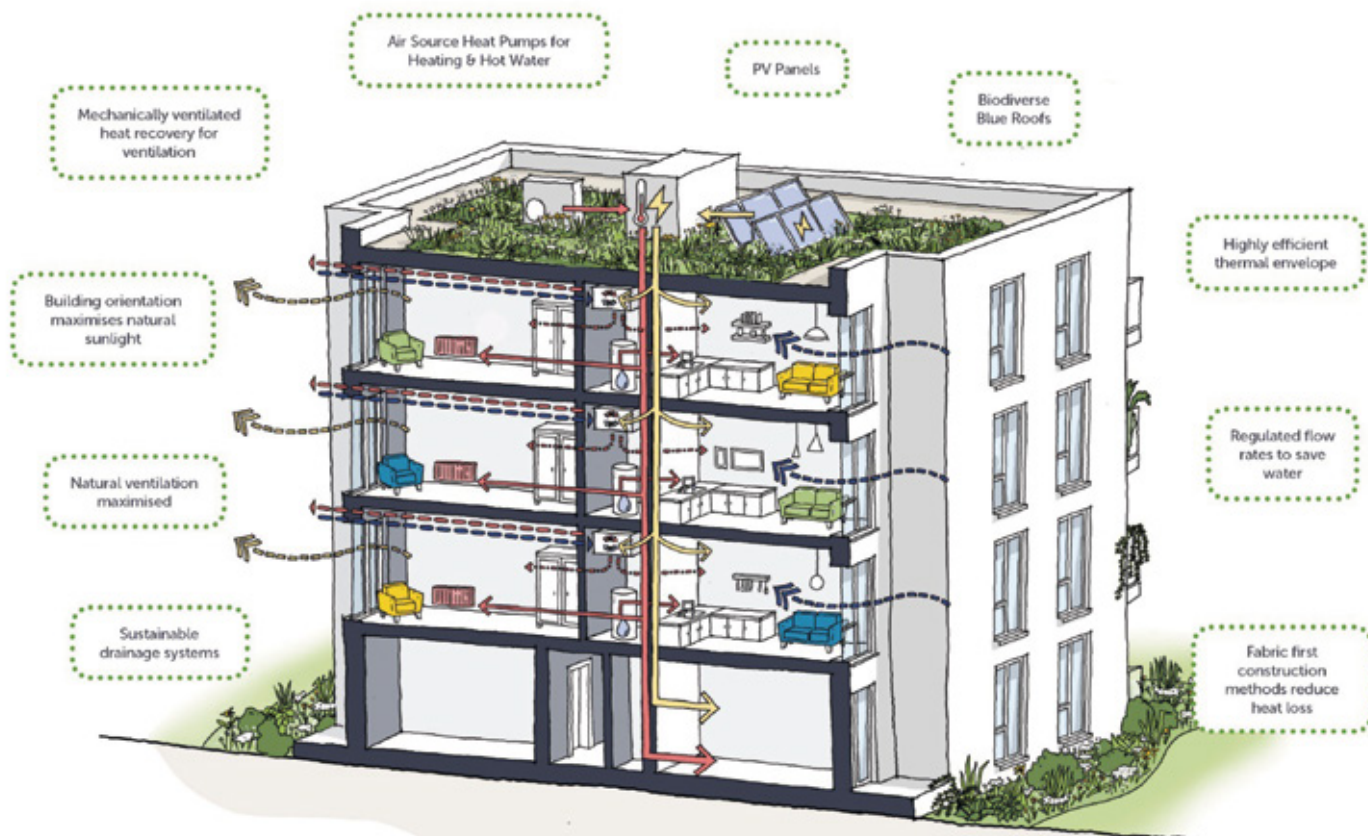


Fig 9: A typical block of flats – energy efficiency principles [image credit BPTW]

Shared outdoor areas

The public realm will be designed with inclusivity and safety in mind, in accordance with the residents' feedback, to ensure the needs of the local community are fully facilitated. Safe, well-lit routes, open green spaces, communal courtyards, front gardens, orchard/growing spaces, play and leisure facilities for all ages will be considered.



Fig 10: Indicative public realm – pedestrian boulevard - example from elsewhere in London [image credit BPTW]



Fig 11: Indicative public realm – Green open space – example from elsewhere in London [image credit BPTW]

The placement of the new buildings will be carefully considered to ensure there is no adverse impact on the adjacent neighbours, the adequate distances will be kept ensuring the privacy is maintained and there are no overlooking issues. The improvements to the pavements, lighting, landscaped edges will benefit all, existing and the new residents. The intention is that all homes on the estate will be tenure blind, this means that all new homes on the estate will be of the same quality, regardless of tenure.



Fig 12: Indicative public realm – existing and new buildings street example – from elsewhere in London [image credit BPTW]

THE VOTING PROCESS

The council is following Greater London Authority (GLA) Resident Ballot requirements for holding a ballot. This means there is no minimum turnout needed and the result will be based on a simple majority – in other words whichever vote (yes or no) receives the highest number of votes will decide if the scheme goes ahead or not.

It also means:

- **The ballot will be run by an independent organisation**
- **You can vote anonymously either in favour of our proposals or against them**
- **Voter eligibility is established by the GLA.**

Who will be running the independent ballot?

Civica Elections Services, also known as CES. CES is an impartial and independent organisation. Croydon Council will not be able to see how individuals have voted. It will manage the ballot process in line with Greater London Authority (GLA) guidance. CES is an independent company with over 100 years' experience of administering ballots and are the UK's leading provider of election services. They will be responsible for:

- **Receiving and counting the votes**
- **Verifying that all votes have been casted legitimately**
- **Issuing the result.**

Who can vote?

Residents who are able to vote on the future of the Regina Road Estate are anyone aged 16+ who are:

- **Social tenants and any joint tenants who have been named on the secure tenancy agreement**
- **Resident leaseholders who are named on the lease and have resided in their home for at least a year prior to the publication of the Landlord Offer on 27 March 2023**
- **Resident freeholders who are named on the deed and have resided in their home for at least a year prior to the publication of the Landlord Offer on 27 March 2023**
- **Residents who live on the estate as their principal home and who have been on the council's housing register for at least a year.**

What question will be on the ballot paper?

The question is:

Are you in favour of the proposal to demolish and rebuild homes as shown within the red line boundary on the Regina Road Estate?

How do I complete the ballot paper?

If you want to vote **'yes'** in favour of the proposal, **place an x in the box marked YES.**

If you want to vote **'no'** against the proposals, **place an x in the box marked NO.**

You may only vote once – the independent body checks and verifies every individual ballot paper, telephone vote and online vote to ensure that eligible residents only vote once. If a resident tries to vote more than once, only their first vote will be counted.

THE VOTING PROCESS

How do I cast a vote?

You will be able to vote using any of the following methods:

- **Post the completed ballot paper back to CES in the pre-paid envelope provided**
- **Vote online at www.cesvotes.com/reginaroad by providing the security code listed on your ballot paper**
- **Call the Freephone number listed on your ballot paper and provide the security code listed on your ballot paper.**

When can I vote?

You can vote between **Wednesday 26 April** and **Monday 22 May**. The vote lasts for 26 days. The ballot closes at 5pm on Monday 22nd May. To be counted, your vote must be received by this time.

Your ballot paper will be delivered to your door when the vote starts. Once you have your ballot paper you can cast your vote using the methods stated above.

If you are voting by post, your ballot paper must have arrived by the deadline to be counted. Please make sure you send your vote back with plenty of time to arrive as any ballot papers received after the close will not be counted under any circumstances.

When will I find out the result?

The results will be shared via a newsletter as soon as possible after CES issue the results to the Council. All residents will also receive a letter within five working days after the results are issued to confirm the results.

What do the results mean?

A 'Yes' vote

If the ballot result is in favour of the final option, we will deliver this option with resident input subject to relevant planning permission and other relevant permissions.

A 'No' vote

If the ballot result is against the preferred option, this would mean that the council would need to reconsider its approach and we will do so in partnership with residents. We will consider different solutions to the property condition issues across the estate. A 'no' vote may present risks in relation to access to funding and potentially affect the timescales for change on the estate. This offer document and its contents will cease to apply in the event of a 'no' vote.

What if I have questions about the process or my vote?

If you have any questions about voting, or if you have lost / spoilt your ballot paper and need a replacement, please contact CES on: support@cesvotes.com or call **020 8889 9203**.

What happens after the ballot?

We will continue to work with residents through all aspects of the work on the option that has the majority support from residents. This will include selecting teams to deliver the option, evolving the design and submitting a planning application and confirming housing allocations.

The Tenant Offer – Regina Road

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THE TENANT OFFER (“OFFER”) – REGINA ROAD

1. INTRODUCTION

1.1 CONTEXT

This offer sets out the Council’s proposed approach to secure tenants who currently occupy the area identified as outlined in the plan below at Regina Road Estate.

This offer provides for different offer options dependent upon whether the block in which the resident lives is to be demolished and redeveloped or its defects remedied via refurbishment.

The terms “regeneration” and “regeneration scheme” used within the offer refers to both the option of refurbishment and the option of demolition and redevelopment.

Secure Tenant Offer has the following objectives:

- **Fairly manage the rehousing, allocation, and payment compensation process**
- **Use the refurbishment or development opportunity to improve housing conditions in the Regina Road Estate**
- **Create a sustainable community in the Regina Road Estate area.**



Fig 9: Plan No.1 – Showing location of three tower blocks and surrounding medium and low rise development within a boundary

1.2 DEFINITIONS AND ELIGIBILITY

The Offer applies to permanent rehousing of all Council tenants who are affected by the Refurbishment or Rebuilding at Regina Road (“the Regeneration Scheme”) in respect of the site plan (Fig 9) for the Regina Road Estate.

Residents in Temporary Accommodation within the Regina Road site plan will be eligible to vote at ballot if their principal home is on the estate and have been on the local authority’s housing register for at least one year prior to the date the Landlord Offer is published. This is irrespective of their current tenure. However, Households currently in temporary accommodation within the Estate will have their tenancies converted to a secure tenancy and will then have the same rights as others on the Estate to the provisions within the offer.

DURATION

If accepted by a majority of residents eligible to vote and voting at ballot, the Offer will cease to apply once everyone who is entitled to exercise a right to return under this offer has exercised that right or declined to do so as provided for in this offer. The offer will only apply to those eligible to vote in the ‘ballot’. Once the regeneration is completed in full there will be no right of return. The Council’s main Allocation Scheme will continue to apply throughout and thereafter to all Council tenants.

If not accepted by a majority of residents eligible to vote and voting at ballot, the Offer will cease to apply at the point that the ballot concludes, and results are announced.

COUNCIL TENANTS

For the purposes of the Offer, Council tenants are secure tenants who rent a home from the Council, including those who live in sheltered housing, as defined by the 1985 Housing Act.

HOUSEHOLD MEMBERS

Subject to the exclusions below, all household members will be considered as part of the eligible tenant’s household for rehousing purposes.

This includes:

- **Secure tenants and their immediate household**
- **Co-habiting partners and spouses living together in a settled relationship with the eligible tenant for a continuous period of 12 months before being considered as part of the household**
- **Non-dependent children living continuously as part of the settled household since the start of tenancy or who have lived with the household since birth**
- **Children born since the start of the tenancy or other dependent children where the eligible tenant has principal care of the child on a permanent basis. Birth certificates will need to be produced to confirm relationship and dependency**
- **An adult relative who has become a settled member of the household because they need support and cannot live independently. This may be an elderly relative or someone who is disabled. Such persons must have resided with the household for a minimum of 12 continuous months before being considered as part of the household**
- **Live-in carers providing full time care to a member of the household.**

THE TENANT OFFER (“OFFER”) – REGINA ROAD

The following household members will be **excluded** from being rehoused:

- **Unauthorised and authorised occupants including friends, lodgers and sub-tenants living with the Tenant**
- **Licensees**
- **Other non-secure occupants and persons included on applications for rehousing but who are not considered to be part of the tenant’s household**
- **Squatters**
- **Any household member who has moved in and caused overcrowding**
- **Children of the tenant whose main, principal home is elsewhere**
- **Any other person deemed ineligible by the Housing Act 1996 and relevant regulations thereunder.**

The Council will consider any exceptions not covered by the criteria above on a case by-case basis. Any exceptions will be subject to written approval by the Corporate Director of Housing and will be supported by reasons for the decision.

If the composition of any household changes or is expected to change (i.e. pregnancy) the main tenant is required to inform the Council as soon as reasonably possible. Evidence will be required to support any change to a household’s composition. The Council reserves the right to refuse the addition of a household member or members if it considers, in its absolute discretion, the evidence submitted is insufficient.

2. RE-HOUSING OPTIONS FOR COUNCIL TENANTS

2.1 REHOUSING OPTIONS

2.1.1 The Council will rehouse any Council tenant being displaced from their home because of the Regeneration Scheme, with the following exceptions:

- **The Council will not rehouse any tenant who is awaiting eviction after a Court hearing for breach of their tenancy conditions for example, due to rent arrears or anti-social behaviour**
- **Tenants who have rent arrears will not be eligible to move into a new build property on any redeveloped site at Regina Road or any other site unless they have maintained payments of current rent plus their agreed arrears repayment plan for a continuous period of six months. The Council will deal sensitively with residents who have withheld rent due to disrepair. Tenants are still requested to pursue necessary channels of communication with the Council if unhappy about issues within their homes.**

2.1.2 Tenants have a right to request a review undertaken by an Appeals & Reviews Officer against a decision not to rehouse under the above grounds. In undertaking this review, the Council will follow the statutory review process which is summarised in paragraph 2.1.3 below. If a tenant is unhappy with a decision, they and or their representatives can meet directly with the Council to present the case, or the presentation can also be in writing.

In conducting the review, the Council will consider personal circumstances, personal financial issues, issues around mental and physical health, economic circumstances, and all other relevant statutory information.

Reasons will be given for the outcome of the review and regardless of whether the outcome is successful or unsuccessful for the tenant. The Council must put the full reasons for their decision in writing to the tenant. The tenant can seek legal redress if they are not happy with the outcome of the review.

2.1.3 Requesting a Review

If you want a decision made with regard to your homeless application or accommodation provided in relation to that accommodation reviewed please tell us as soon as possible, preferably using the appropriate form (Review Form 1).

If we do not receive your request within 21 days of the day you received our decision letter, we are not obliged to review our decision.

Please ensure you give us an address where we may write to you during the period of review.

Conducting the Review

The council has a period of 56 days to reach a decision on review.

The officer who will carry out the review will not have been involved in making the decision which you want reviewed and will be senior to the person who made the original decision on your application.

You will be informed of the review decision and the reasons in writing within the timescale outlined above. However, if we need more time to look into your case, we will write to you about this and agree a new time limit with you.

You should not rely upon the review altering the decision of the original investigating officer. Also, the reviewing officer may reach another decision which is not in your favour.

Submissions

You – or someone acting on your behalf – may give us written details, including information from doctors, consultants, etc., of the reasons why you want us to review the Council's decision.

Please note: Under the Housing Act 1996 (as amended) not all decisions are subject to the review process. If, for any reason, the right of review does not apply to the matter which you raise in your request, we will write to you explaining the reasons.

The rehousing options available to Council tenants are set out below:

OPTION 1 – MOVE TO AN EXISTING COUNCIL PROPERTY ELSEWHERE IN THE BOROUGH

- Council tenants who wish to move to an existing council property elsewhere in the borough will be given the opportunity to do so.
- Tenants will be entitled to three direct offers of alternative accommodation that meet the housing needs of the household.
- For tenants who would like to move outside of Croydon Borough, the Council will identify suitable vacancies including through Homefinder UK.
- The Council will try and keep those wishing to move as close to their existing networks at Regina Road.

OPTION 2 – MOVE TO AN EXISTING HOUSING ASSOCIATION PROPERTY ELSEWHERE IN THE BOROUGH

- Council tenants who wish to move to a property owned and managed by a Housing Association elsewhere in the borough will be given the opportunity to do so.
- Tenants will be entitled to three direct offers of alternative accommodation.
- Tenants who choose this option will be supported by the designated Housing Officer to ensure they understand the differences between the Council and Housing Association tenancies and can afford the rent. The Independent Tenant Advisor is also available for advice.
- The Council will try and keep those wishing to move as close to their existing networks at Regina Road.

THE TENANT OFFER (“OFFER”) – REGINA ROAD

OPTION 3 – MOVE TO A SHELTERED HOUSING OR EXTRA-CARE SCHEME PROPERTY ELSEWHERE IN THE BOROUGH (SUBJECT TO ELIGIBILITY FOR THE PARTICULAR SCHEME)

- Council tenants who are eligible and wish to move to a property in either a Sheltered or an Extra Care housing scheme elsewhere in the borough will be given the opportunity to do so.
- Dedicated scheme officers will also provide residents with on-site support including for the viewing and moving processes.
- Tenants who meet the following criteria will be eligible for offers in a sheltered scheme:
 - 55 years and over; or
 - Aged 55 to 59 years and in receipt of Personal Independence payments; and
 - Single or joint applicants with no children; and
 - In need of the housing support provided by the scheme.
- Tenants will be nominated for consideration by a Panel for Extra Care accommodation. Extra Care housing is for people who require a high-level support due to:
 - Frailty;
 - Ill-health; or
 - Restricted mobility.
- Tenants will be entitled to three direct offers of alternative accommodation as close as possible to the regeneration area.

OPTION 4 – PURCHASE OF AN AFFORDABLE HOME ELSEWHERE THROUGH A LOW-COST HOME OWNERSHIP SCHEME

- Council tenants who are able to purchase a home or have savings will be supported in the process to purchase an affordable home.
- A number of affordable homes are being built in the borough under Shared Ownership and Shared Equity schemes and tenants can also be supported with advice on how to purchase such properties, as well as properties on the open market.
- Officers will endeavour to provide housing advice on whether this is an affordable and viable option based on individual financial circumstances.

OPTION 5 – RENT A PROPERTY ELSEWHERE WITH A PRIVATE LANDLORD

- The Council can help tenants to move to a property in the private rented sector. This may be a good option for a tenant who would like to move near a support network in another borough or outside London.
- The Council can provide assistance about affordable private rented accommodation by liaising with landlords in or outside of the borough as well as offering financial assistance towards the required deposit and first month's rent.

OPTION 6 – MOVE TO A NEW PROPERTY IN DEVELOPMENT ON THE ESTATE OR NEARBY ONCE COMPLETED

If redevelopment is how the project progresses (rather than refurbishment), the Council is proposing to build new council housing across the site as part of the Project. Priority for the new build homes will be given to those who have had to move because of the regeneration scheme. Tenants will only be given one opportunity to move back to the new homes that have been built.

This option will apply to tenants who have initially:

- **Moved to a council or housing association property elsewhere within the borough on a temporary basis**
- **Moved to a sheltered housing property elsewhere in the borough on a temporary basis.**

Tenants who have rent arrears will not be eligible to move into a new-build property in the redeveloped estate unless they have maintained payments of current rent plus their agreed arrears repayment plan for a continuous period of six months.

The Council will judge each case on its merits and take a sensitive approach to each case.

2.2 ALLOCATION & ELIGIBILITY PRINCIPLES AND PROCEDURES

- **Officers will carry out one to one meetings with Council tenants to establish the needs of the household including whether they would like to register an interest to return to a new build property in the redeveloped area if redevelopment is the option progressed and when they are become available.**
- **As part of this process, the following information will be gathered:**
 - Proof of tenancy
 - Housing composition (*verifying who lives at the home and that all household members are eligible for rehousing*)
 - Rehousing option preference
 - Bed size requirement
 - Type of property preferences (*floor level, block type and house type*)
 - Location of property preferences (*area preference in Croydon or out of borough*)
 - Preference to be near to friends, family, current neighbours (*as a group move*) or support service
 - Any medical, health, mobility, social or risk factors that should be considered
 - Current location of children's schools and workplace
 - Preference of when they would like to move (*i.e. as soon as possible, within a specific time frame*)
 - Equalities information for monitoring purposes.
- **Anonymised data will also be shared with any development partner for the project in accordance with the relevant privacy notice provided to residents, helping them to understand what existing tenant's accommodation needs are for the provision.**
- **The tenant will be notified of the outcome following assessment of their eligibility and needs. This notification will:**
 - Confirm the Housing Needs Band that the tenant has been placed in. (The Current Allocation Scheme provides that tenants will be placed in Band 1 if it is necessary for the Council to decant them due to refurbishment or redevelopment works such as are currently proposed)
 - Confirm the size (and if applicable, the type) of property the tenant is eligible for

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- Confirm the tenant’s effective date (*the effective date will be based on the date their first Council tenancy commenced*)
- Include a reminder about informing the Council of any change in the household’s circumstances
- Provide details of the Review process.
- **The tenant will be awarded the Highest Priority Band (i.e. Band 1) based on the requirement for them to move as a ‘decant’ for regeneration purpose. The effective date will be based on the date their first Council tenancy commenced.**
- **The Council will make direct lets to affected households and no household will be required to bid for a home.**

2.3 IDENTIFYING AND MAKING AN OFFER OF ACCOMMODATION

- **Tenants will be entitled to a maximum of three direct offers (*those eligible for either a Sheltered or an Extra Care housing scheme will also be entitled to three direct offers*) of accommodation.**
- **The Council will check whether a vacant property is suitable for a tenant on the regeneration decant waiting list.**
- **Once a suitable property has been identified, the Council will contact the tenant (usually by telephone) to give the details of the property that is being offered and make an arrangement for the tenant to view the property. This will be followed by a formal offer letter.**
- **The tenant will be asked to view the property within 14 days and then to sign the tenancy agreement. If they do not consider the property is suitable for themselves or their household, they will be asked to complete a form setting out their reasons for refusing the offer. If a tenant fails to view the property within this time frame, then this will be deemed a refusal of the offer.**

A tenant can ask for a Review by a Reviews Officer of the suitability of the accommodation offered regardless of whether they accept the offer or not. The reasons will be considered as part of the Review and a decision will be made as to whether the offer was reasonable or not.

The review process is as set out at paragraph 2.1.3 above.

However, it is important to point out that the definition of suitability is enshrined in law. Factors the Council can consider are:

- Distance from school if studying for GCSEs
- Distance from work
- Medical conditions
- Whether a property is affordable
- Safety from domestic abuse or other violence as reported to the police
- Any other special circumstance.
- **Should the tenant refuse all direct offers of suitable accommodation and their review options are exhausted; the Council may start early possession proceedings in order to obtain vacant possession of the property in time for potential demolition. Applicant has a right of review.**
- **Considering the long timescale of the programme and waiting times for rehousing, the Council will check the detail of the needs assessment at the point of making an offer to ensure that there has been no change of circumstances and the offer is suitable.**
- **The Council will liaise with other council services such as the Occupational Therapy Service, Adult Social Care, Children’s Services etc. to ensure the tenant’s health and support needs are addressed.**
- **All necessary adaptations will be considered.**

2.4 ESTIMATED WAITING TIME FOR AN OFFER OF ACCOMMODATION

- The timescales of when a tenant may be offered alternative accommodation will depend on:
 - The available supply of accommodation that is suitable to meet their housing needs
 - Offers of accommodation will be prioritised based on the following criteria:
 - A tenant from regeneration site will be matched to a vacant property on or near Regina Road
 - The housing needs and vulnerabilities of each tenant matched will then be assessed to determine which tenant has priority for the match
 - If there is more than one tenant whose needs are suitable for the vacant property, the offer will be made to the tenant who has been a council tenant the longest (*based on the tenancy start date*).

2.5 BEDROOM SIZE ENTITLEMENT

The size and type of property that an applicant could have will depend on the size of their household.

When assessing the size of accommodation suitable for your household we will provide either bedsit or one bedroom accommodation for single person households. For other households we will assess as requiring a separate bedroom for:

- You and your spouse or partner
- Each adult in your household aged 21 or older
- Every pair of adolescents in your household of the same sex aged between 10 and 20
- Every pair of children in your household aged less than 10 years regardless of sex.

Tenants needing larger homes – For households who require more than four bedrooms, the Council will work with them to consider alternative housing options on a case-by-case basis as there is limited supply of larger council-owned accommodation. For example, the household might wish to consider separate housing for adult children. Such housing situations will be subject to approved by the Corporate Director of Housing.

Downsizing – If a tenant chooses to move into a smaller property that meets their housing needs as part of the Regeneration Scheme, they may, subject to budget availability, be entitled to a downsizing payment for any subsequent room returned to the Housing Service.

3. RIGHT TO RETURN

3.1 RIGHT TO RETURN

Previous tenants of Regina Road will retain the Right to Return until one or more of the following has occurred:

- The tenant has informed the Council that they do not wish to return to Regina Road
- The tenant has received and accepted a permanent offer of a suitable alternative property elsewhere. This offer will be made based on their Housing Need at the time of the offer.

4. PAYMENTS MADE TO TENANTS

4.1 HOME LOSS PAYMENTS

4.1.1 A Home Loss Payment is made where qualifying residents are required to leave their home due to a Local Authorities plans for regeneration. The payment is a sum in recognition of the inconvenience of having to move out of an existing home. The basis on which Home Loss Payments are made, is set out in statute, the Council has undertaken to make a Statutory Home Loss Payment to all qualifying residents displaced as a result of its regeneration proposals. Where there is no statutory requirement to make a Home Loss Payment the Council will instead offer qualifying residents, subject to application, a disturbance payment as detailed below.

Home Loss Payment entitlement criteria

4.1.2 A resident should:

- Have lived in the affected dwelling, or a substantial part of it, as their only or main residence for a period of at least 12 consecutive months. Proof of residency is required to support an application for a Home Loss Payment, for example, mortgage statements, Council Tax receipts, bank statements and utility bills; and
- Have an interest or right to occupy the property that is freehold, leasehold, statutory tenancy or restricted contract under the Rent Act 1977, or a right to occupy under the terms of the employment or under a licence where secure tenancy or introductory tenancy provisions apply
- Be displaced from a dwelling on any land in consequence of one of the reasons set out in Section 29 of the Land Compensation Act 1973.

(These reasons include where the Council uses its compulsory purchase powers, makes a housing order in respect of the dwelling and the making of an order for possession on ground 10 or 10A in Part II of Schedule 2 to the Housing Act 1985)

Additional criteria

4.1.3 The following criteria are additional to the criteria in 4.1.2 above, and applicable:

- Home Loss Payments will only be paid once, in all circumstances, for the displacement from the property affected by the Regeneration; and
- Home Loss Payments are subject to the resident surrendering their tenancy of the property affected and giving vacant possession to the Council in order for it to be redeveloped through the programme, and will only be payable once the tenant or owner has handed back the keys to their property to the Council (unless there are exceptional circumstances as agreed by the Corporate Director of Housing); and
- Joint tenants or co-owners will be entitled to one Home Loss Payment to share between them; and
- Squatters and trespassers will not be paid compensation in the form of a Home Loss Payment, basic loss payment or Disturbance Payment; and
- Tenants who are being evicted prior to the decant will not receive a Home Loss Payment; and
- Home Loss Payment will not be paid to a tenant living in the property on a temporary or non-secure tenancy or licence as a result of being homeless.

Home Loss Payment Levels

4.1.4 The level of home loss compensation is set by the Government in accordance with the Planning and Compensation Act 1991, the Land Compensation Act 1973 and HomeLoss Payments (Prescribed Amounts) (England) Regulations (2022). The level is currently £7,800 and is reviewed annually.

Set-off of debts owed to the Council

4.1.5 The Council reserves the right to seek to debit part or all of the Home Loss Payment to settle outstanding debts owed by council tenants i.e. rent arrears by way of equitable set-off. Residents must therefore make every effort to clear any debt owed.

4.1.6 Home loss payment will be paid following deductions of:

- Any rent arrears against the property (including former tenant arrears);
- Any court costs regarding the tenancy;
- Any garage rent arrears owed by the tenant;
- Any Council Tax arrears in respect of the property;
- Any re-charges in relation to property damage, caused either deliberately or through neglect.

Administration of Home Loss Payment

4.1.7 Property owners – When the Council completes the valuation of the home, a valuation letter will be sent which will include the market value of the home and any entitlement for home loss, disturbance or basic loss payment.

4.1.8 Council tenants – When a property has been identified for a tenant to move into, the Council will notify you of any Home Loss Payment/disturbance payment entitlement. Home Loss Payments will be made net of the above debts. Council tenants have the right to request a review of any proposed or actual deductions providing this is received in writing within 14 days of notification of such deductions.

4.1.9 The compensation payments set out within any documentation will be conditional on occupiers providing vacant possession of the property and payments will only be made after keys to the property have been handed to the Council with vacant possession.

4.1.10 Depending on individual circumstances, the Council is required to make payment on or before the latest of:

- The date of displacement; or
- Within three months from the date of the displacement; or
- The date on which the market value of interest was agreed or determined or paid.

4.1.12 The Council will make payments directly into the resident's bank or savings account.

4.1.13 Home Loss Payments are only made where the property is acquired compulsorily – for example under Compulsory Purchase Orders or possession orders under ground 10 or 10A in Part II of Schedule 2 to the Housing Act 1985.

4.2 DISTURBANCE COMPENSATION

4.2.1 Disturbance compensation is paid where residents are required to leave their home to compensate for reasonable financial costs associated with moving and acquiring a new home. The aim of the payment is to cover the expenses of moving so that the resident is not financially better or worse off as a result of the regeneration programme.

4.2.2 Disturbance compensation is generally restricted to legal occupiers. However, investment owners (non-resident leaseholders/freeholders) can claim for reimbursement of the reasonable legal costs incurred in acquiring a replacement UK property within 12 months of the acquisition of the new property if they are not eligible for statutory homeloss or basic loss payments. 'Reasonable costs' do not include weekly rent payments or any other personal loss incurred through the process that should normally be covered by an occupier's own insurance policy.

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4.2.4 Disturbance compensation can be claimed for:

- Expenses related to arranging own removal or the Council would arrange removals and pay for these directly
- Re-direction of mail for each authorised surname living at the address (for one year only)
- Alterations to furnishings, e.g. uplifting, refitting and alteration of carpets and curtains
- Disconnection and re-connection of services e.g. broadband, phone line and domestic appliances
- Special adaptations previously assessed as required in the new property
- Costs of new school uniforms if being rehoused in a different area and children need to change schools
- Replacement carpets, curtains white goods or furniture (*reasonable costs allowed if residents can demonstrate existing furnishings, white goods or furniture will not fit in new home or be modified*)
- Legal fees arising from the sale of the property and the acquisition of a replacement property including:
 - Solicitor and surveyor fees arising from the sale of the current home and acquisition of a replacement property
 - Mortgage redemption and arrangement fees
 - Stamp Duty land tax arising from the acquisition of a new property (*up to the agreed value of the home*).

This list is not exhaustive and other reasonable additional costs incurred by residents may be met. Housing Officers will be able to advise whether an expense will be considered reasonable.

Disturbance Compensation Levels

4.2.5 The level of disturbance compensation will vary from claim to claim and is dependent on claimant’s specific circumstances. Payments will be made for each eligible item.

4.2.6 Property owners will be entitled to claim for reimbursement of the purchase costs reasonably incurred when acquiring a new property. The level of reimbursement will be assessed in line with normal compensation principles. Owners should be aware that purchase costs in excess of those that would be incurred for the purchase of a home of equivalent value to their existing home may not be reimbursed.

4.2.7 Council tenants – for tenants who move into alternative accommodation as their settled accommodation, the payment will be made once. For tenants who move twice (to an initial home and back to the redeveloped home), the payment will be made twice. This does not apply to Home Loss Payments which are only paid once to eligible residents.

4.2.8 The following criteria will also apply:

- Joint tenants or co-owners will be entitled to one disturbance Payment to share between them; and
- Squatters and trespassers will not be paid compensation in the form of a Home Loss Payment, basic loss payment or Disturbance Payment; and
- Tenants who are being evicted prior to the decant will not receive a disturbance Payment; and
- Disturbance Payment will not be paid to a tenant living in the property on a temporary or non-secure tenancy or licence as a result of being homeless.

Administration of Disturbance Compensation

4.2.9 In line with Government guidance, it is the Council’s policy to require resident to provide supporting evidence for the claim. Therefore, residents will be asked to complete a claim application form detailing the items sought to be claimed and provide receipts or invoices or alternative proof for each item being claimed for. For audit and administration purposes, individuals will need to establish their claims for compensation.

4.2.10 In order to make a claim, an application form must be completed. The claim should be made in writing and it is advisable for it to be made as soon as possible after all the information necessary to support the claim is available.

4.2.11 Payments will be paid directly to the resident (main or joint bank account).

4.2.12 The Council will have a contractor to help residents to assist with removals, disconnection and reconnection of appliances and other actions associated with the moving process. In such cases, residents can choose to have an ‘assisted move’ through the Council or make their own arrangements. The Council can refuse costs which are considered unreasonable, and all services used must comply with the appropriate trading standards. In all cases residents are advised to check with the Council before choosing their own service providers in order to ensure that the cost is considered reasonable to be covered by a disturbance compensation.

4.2.13 Should a property owner use their own service provider, it is advised that receipts and invoices are on a company headed paper with information about VAT number, company registration and contact details.

4.2.14 If there is a dispute over whether the Council will pay for an item or an amount, then either the person concerned, or the Council can apply to the Upper Tribunal (Lands Chamber) for a decision on this. Independent advice or a third party arbitration process may also be considered depending on the individual circumstances of the case.

Advance Payments

4.2.15 The Council will ensure that, where eligible, displaced residents and property owners are advised of their entitlement to receive an advance payment

4.2.16 If the Council has taken possession of any land under its compulsory purchase powers, there is an obligation to make an advance payment of compensation, if the claimant makes a request (section 52, LCA 1973).

4.2.17 In this case, the advance payment must be 90% of the amount estimated by the Council or 90% of the amount agreed between the Council and claimant. The payment is registerable as a local land charge by the Council and can be set off against any payment to a subsequent owner.

5. LOCAL LETTINGS PLAN

5.1 BACKGROUND AND NEED FOR LOCAL LETTINGS PLAN

This Local Lettings Plan is made pursuant to the provisions of s.166A(6) Housing Act 1996 (as amended) and/or s.21 Housing Act 1985 and sets out the principles and procedures adopted by the Council for the allocation of housing to Council tenants who will be affected by the Regeneration Scheme.

The Tenant Offer for Regina Road offers a Right to Return to all tenants in Regina Road estate who have been required to move due to refurbishment/redevelopment works. To honour this commitment, this Local Lettings Plan sets out the priorities for vacant homes on the Regina Road estate once redeveloped.

- **Application of the Plan as set out in the areas marked on the map on page 5**
- **This lettings plan will remain in place until there are no remaining tenants with the Right to Return.**

This plan does not apply to lets where a property is unavailable due to successions or legal reasons.

This plan does not apply where decisions have been taken not to fill vacancies within Regina Road estate due to upcoming decisions regarding refurbishment or redevelopment and associated works.

5.2 PRIORITY FOR VACANT PROPERTIES ON REGINA ROAD ESTATE

- **Each vacant property on the estate will be offered to households in the following order of priority. With the exception of those returning to their original home (priority a), priority will be given to household with the earliest Regina Road tenancy start date.**

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- Where repairs have been completed on properties within Regina Road Estate Priority will be given to the previous tenant of that particular property who retains a Right to Return, regardless of their Housing Needs.

5.3 WHERE THERE REMAIN TENANTS WHO NEED TO BE REHOUSED THE PRIORITY WILL BE IN THE BELOW ORDER:

- Tenants from these blocks who are vulnerable
- Tenants from these blocks with a local connection
- All other tenants from these blocks.

5.4 WHERE A DECISION IS MADE TO DEMOLISH BLOCKS AT REGINA ROAD ESTATE, PRIORITY WILL BE GIVEN IN THE BELOW ORDER:

- Tenants retaining a Right to Return and who have a Housing Need for this size property, with priority to those with the earliest Regina Road tenancy start date.
- Households as determined by the Allocations Scheme.

5.5 DEFINITIONS

- Housing Needs and suitability of properties will be determined by the Allocations Scheme in force at the time.
- Tenants will have the right to a review if they believe that the property is not suitable unless they are the original tenant of that property. The review process is at paragraph 2.1.3 above.
- The start date for those who succeeded to their tenancy will be the start date of the original tenancy so long as the tenancy was also in the same property.
- Vulnerable tenants are tenants (or members of their household) who are vulnerable, at high risk to themselves or the property, or who have specialist needs such as mobility requirements.
- Local connection is taken to mean where a tenant or member of their household is attending a local school or have support services only available in the local area or those who are working locally.
- Tenants who need to be rehoused are those who need to move prior to any repair works or demolition and living in the Regina Road Estate.

5.6 PREVIOUS TENANTS WILL RETAIN THE RIGHT TO RETURN UNTIL ONE OR MORE OF THE FOLLOWING HAS OCCURRED:

- The tenant has informed the Council that they do not wish to return to their original home
- The tenant has received an offer to return to their original home. This offer will be made regardless of their Housing Need
- The tenant has received an offer of a suitable alternative property on the Regina Road Estate. This offer will be made on the basis of their Housing Need at the time of the offer regardless of the size of their temporary original home
- The tenant’s tenancy at their temporary home has been ended.

5.7 DISCRETION

This plan cannot cover every eventuality and the Council reserves the right to make offers outside of this letting plan in exceptional circumstances and authorises the Corporate Director of Housing to do so. Any exercise of such discretion shall be recorded in writing with reasons.

Leaseholder and Freeholder Offer

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LEASEHOLDER AND FREEHOLDER OFFER

1. INTRODUCTION

The options available to leaseholders and freeholders on LB Croydon Estates

This offer is designed for leaseholders and freeholders who own a property on the Regina Road Estate which is affected by the need to refurbish or demolish and redevelop at the site who have been living in their properties as their only or principal home for at least one year prior to the date the Landlord Offer is published and are named on the lease or freehold title for their property. and have been in occupation of their property.

This is a special status which has been given to an estate because it has specifically been identified as needing refurbishment or redevelopment due to its current poor condition, which falls below the Government's Decent Homes Standard.

If, following the ballot, the decision is taken to demolish and redevelop on the site of the Regina Road Estate, Croydon Council will need to purchase your property before any redevelopment can proceed. This offer sets out the financial compensation and general assistance you will receive from the Council if your property is identified for demolition. This offer also outlines the Council's overall proposed approach to acquiring your property and the options available to assist you to find a new home. If not accepted by a majority of residents eligible to vote and voting at ballot, the Offer will cease to apply at the point that the ballot concludes, and results are announced.

We understand that having to sell your home to the Council can be an unsettling experience. We hope that the information set out here will reassure you about the process and the options available to you. Whatever your preferred option is, we aim to make the purchase of your home and your move from it easy and as stress-free as possible.

Based on feedback from residents, the Council has sought to improve the options available to affected leaseholders and freeholders so that any future proposed development in the local area maximises the benefits to local people.

No party (either the Council or any leaseholder) is financially better or worse off as a result and leaseholders should not be financially disadvantaged by the regeneration.

We know that the offer cannot cover every eventuality, and provision needs to be made to ensure there is sufficient flexibility to address the personal circumstances of affected leaseholders. The principles set out in this document therefore set out the general approach. Where cases fall outside the offer, the Corporate Director of Housing will consider leaseholders' and freeholders' individual circumstances on a case-by-case basis based on the principles set out in this document.

2. WHO DOES THE OFFER APPLY TO?

This offer applies to all resident and non-resident leaseholders or freeholders on the Regina Road Estate who are going to be affected by proposals to refurbish or demolish and redevelop at the Estate.

For the purposes of this offer a resident leaseholder or freeholder (hereafter referred to as resident leaseholders) is one that has been in occupation of the property as their only or main home for at least one year preceding the date of the Notification Letter from the Council setting out its intention to acquire the property. A non-resident leaseholder is one that does not meet this criteria.

The entitlement for non-resident leaseholders or freeholders (hereafter referred to as non-resident leaseholders) differs slightly from resident leaseholders and is set out in section 5.

If your property is earmarked for a later phase of a regeneration scheme and you wish to sell your property, for whatever reason, the Council will consider purchasing your home at an earlier stage. This is referred to as an Early Buyback.

3. WHEN WILL MY HOME BE PURCHASED?

If a decision is taken to demolish and redevelop on the Regina Road Estate, and this will impact on your property, the Council will share timescales for the redevelopment at the earliest opportunity to help you plan. Redevelopment of larger estates is often organised on a phased basis. This means that properties are redeveloped in accordance with a programme, which is agreed (wherever possible) at the beginning of the scheme. This will be fully explained to leaseholders and freeholders during the consultation process.

Whilst the Council will endeavour to adhere to the agreed programme, please note that multi-phase developments planned over many years will almost inevitably encounter unforeseen events that can either delay or require changes to the original programme or lead to a re-ordering of phases. The Council will communicate any material change to the programme, if necessary, as soon as possible.

4. THE PURCHASING PROCESS

This section outlines the Council's overall approach to purchasing your property and the options available for both resident and non-resident leaseholders. This is subject to the outcome of statutory consultation which will indicate whether refurbishment or demolition and redevelopment is the most appropriate option for the Regina Road Estate.

4.1 CONSULTATION

Notification Letter

At the start of any potential redevelopment process (or relevant redevelopment phase for larger projects) that affects your home, officers from the Council will seek the necessary approvals to commence the purchasing of leaseholders' or freeholders' properties. Once these approvals are in place leaseholders or freeholders will be sent a Notification Letter. This will set out the Council's intention to purchase your property and will invite you to an initial meeting.

Meeting

At this initial meeting the redevelopment proposals will be shared with all leaseholders and freeholders. Council officers will explain how leaseholders and freeholders will be affected and will explain the purchase process, the options available to leaseholders and freeholders, and the assistance and support that can be provided for the Regina Road Estate.

One-to-one meeting

Each leaseholder and freeholder will be invited to an individual meeting with a Council officer from the Regeneration Team to discuss your case and to answer any questions that you may have about the process.

The aim of the meeting is to provide clear information about what you can expect from the purchase process and to discuss the options available to you. The Council is committed to ensuring that all residents are treated fairly and equally, have confidence in the process, and receive a high level of service.

At this point you should advise the Council officer whether you are a resident or non-resident leaseholder. If you are a non-resident leaseholder, it is important to note that the Council is under no formal obligation to rehouse either your tenant or any other occupant in the property, and the purchase will only be concluded with vacant possession of the premises provided by you. Further information about the entitlements for non-resident leaseholders is detailed in section 5.

The Council understands that the purchase process can be a difficult time, so you are free to request further meetings with the Council officer to discuss any queries or issues you may have. Where possible and reasonable, the Council officer will make themselves available for meetings outside of normal working hours.

LEASEHOLDER AND FREEHOLDER OFFER

4.2 VALUING

After the consultation stage an independent surveyor acting for the Council will arrange to visit you and carry out a valuation of your home. Following this visit, the surveyor will send you a written offer for your home. This will be the market value of your property plus 10% Homeloss payment.

The surveyor considers the following matters in assessing the market value of your property:

- **The internal condition**
- **The location of the property and amenities within the area such as transport links, shops, and services**
- **The housing market in the immediate area, including recent completed sales prices of similar ex-local authority properties in areas nearby of a similar age and condition**
- **Anything else that in the reasonable opinion of the valuer has a material impact on the value of the property**
- **An acceptable fire rating. Valuation will take into account acceptable fire rating and good external repair (based on EWS1 with an A2 risk rating).**

Please note that valuations are not based on website estimates or estate agent asking prices, but instead on actual completed sales recorded at the Land Registry and the professional assessment of the Council's surveyor, as above.

The written offer will also include details of the compensation to which you are entitled. Please see **Section 5** for further information regarding compensation. The valuation is valid for a three-month period from the date of the valuation letter, although this period can be extended with the agreement of both parties.

Market value

The definition of market value, as prescribed by the Royal Institute of Chartered Surveyors, is, in short, the price at which the property would change hands between a willing buyer and a willing seller. This means an assumption that neither the buyer nor the seller are under any compulsion to buy or to sell, and both have a reasonable knowledge of the relevant facts. The Council's offer will be at the market value plus 10%

What should I do if I disagree with the Council's valuation?

If you disagree with the Council's valuation of your home, you are encouraged to obtain your own valuation completed by an independent chartered surveyor.

If you decide to obtain your own valuation, there will be costs attached. The Council will pay a reasonable amount to cover these costs. The surveyor you choose should be completely independent of the Council and must be a member of the Royal Institution of Chartered Surveyors (RICS).

More information about appointing a surveyor can be found on the **RICS website** (www.rics.org), by contacting them on **024 7686 8555**, or by email at contactrics@rics.org.

Expert Determination

After a period of negotiation, if the valuations of the Council's surveyor and your surveyor differ and there is no prospect of the two surveyors reaching agreement, then with your written agreement the Council may choose to make an application to the RICS for an independent expert to carry out a determination of market value.

Whilst the RICS will determine the identity of the expert, the Council will agree the form of application to the Dispute Resolution Service with you, and there will be the opportunity to tell the RICS if there are any firms that we know to be conflicted. If the Council seeks to pursue this option, you will be asked to speak to your surveyor to confirm that they would be happy to participate in the Expert Determination as they may need to undertake some additional work to assist the process. The Council will reimburse their additional reasonable and proper costs in relation to this.

The outcome of the Expert Determination is not legally binding.

Where necessary, this process will be followed in respect of valuations for existing properties. In relation to existing properties if a higher value than its current offer is determined because of the Expert Determination, the Council commits to pay the higher amount. If a lower value is determined, the Council will honour its existing higher offer.

4.3 COMPULSORY PURCHASE

If agreement is not reached either through negotiation or by the Expert Determination process, then the Council will seek to proceed with the purchase of your home through use of a Compulsory Purchase Order (CPO). This will be a last resort for the Council as our preference is always to reach an agreement with you through negotiation wherever possible.

Due to the amount of time a CPO takes to put in place and the importance of the refurbishment or redevelopment of the Regina Road estate proceeding the Council will start preparing for a CPO once the consultation phase has commenced. This will be explained to you during the consultation phase. If we are unable to agree a price for your property by the time the Council needs possession of your home, we will write to you about using our powers of compulsory purchase to take possession of your property. In this scenario, and where the Council has implemented a CPO, either party is able to apply to the Upper Tribunal (Lands Chamber) to determine compensation. This is an independent judicial body set up by the Government to resolve disputes concerning property issues.

The tribunal has the powers of a court of law equivalent to the High Court but is intended to be a more informal, less expensive, and faster route to resolving property disputes. If an appeal is necessary on a point of law, then the decision lies with the Court of Appeal. Cases are usually heard by a single member, but in certain circumstances they may be heard by two or even three members. The decision of the Upper Tribunal (Lands Chamber) and, if necessary, the Court of Appeal is final. The value agreed by the Tribunal is the value you will receive for your home, with no further negotiation or right of appeal, and this could be higher or lower than the Council's offer.

Leaseholders and freeholders should be aware that the Upper Tribunal (Lands Chamber) determines who should pay the costs of the tribunal. This cost can be charged to you personally in some cases. You are strongly advised to seek legal advice in this respect.

In circumstances where a CPO is implemented, you are entitled under the law to request an advance payment of compensation. We recommend that you seek legal advice regarding this process if necessary.

The level of advance payment will be 90% of the Council's estimate of the market value of your property. Please note that if a property is mortgaged the Council is required to retain sufficient funds to discharge that mortgage and cannot make an advance payment if the mortgage(s) are 90% or more of the Council's valuation.

We will also seek to make you a proportional Home Loss or Basic Loss payment at the same time as your advance compensation is paid if you are entitled to this.

5. ENTITLEMENT TO COMPENSATION

As it is the Council that wants to buy your property, it is important that you are reimbursed for any relevant and reasonable costs that you incur as a result. This section details what you as a leaseholder or freeholder are entitled to from the Council in terms of compensation. The type of compensation you are entitled to depends on your circumstances and whether you are a resident or non-resident leaseholder. There are different types of compensation you may be entitled to, and it is therefore recommended that you seek legal advice.

5.1 COMPENSATION FOR RESIDENT LEASEHOLDERS

Home Loss Payment

A Home Loss Payment is an additional sum of money that you are legally entitled to if you are being compelled to leave your home in certain circumstances, such because of a potential regeneration scheme. This payment is in addition to the payment of the market value for your home. It is designed to compensate you for the inconvenience, stress and upset caused by the move.

If you qualify for Home Loss Payments, you would currently be entitled to 10% of the market value of your home, with a minimum payment of £7,800 and maximum payment of £78,000. These payments levels were set statutorily and are effective for any displacements on or after 1 October 2022. These are set by statute and are annually reviewed.

You will also be required to provide sufficient proof that you have owned and lived in the property for at least a year in the form of bank or mortgage statements, council tax statements, utility bills etc. The Council may carry out other checks to ensure that those who claim to be resident leaseholders actually are.

The Home Loss Payment is paid when the Council completes the purchase of your home (*or you will receive a proportional Home Loss Payment while the Council makes an advance payment of your compensation, if that is what you have requested – see [Section 4.3](#) above*).

Disturbance Payment

A Disturbance Payment is additional compensation that you may be entitled to, which is designed to compensate you for certain costs that you may incur because of having to move home.

Some of the items that may be claimed are listed below, although this is not an exhaustive list:

- Removal costs
- Special adaptations to the replacement premises, (*e.g. for those with disabilities*)
- Altering soft furnishings and moveable fittings and fixtures to fit your new home
- Disconnection and reconnection of services (*gas, electricity, telephone etc.*)
- Redirecting mail (*for one year only*)
- Carpet alterations
- Curtain alterations
- Disconnection and reconnection of appliances (*e.g. washing machines, cookers*).

It is important that you keep a detailed record of the costs incurred in connection with the move. For the Council to reimburse you for these reasonable costs, you are required to provide the Council with receipts for all reasonable costs. It is important to get a receipt or pro-forma invoice from the companies that you use to carry out any works or services that you wish to seek reimbursement for.

To claim costs owed to you, you must use reputable companies that will provide genuine receipts and invoices stating the following information:

- **Their VAT Number**
- **Company headed paper**
- **Contact details**
- **Company registration details**
- **Date**
- **Invoice number**
- **Description of services provided**
- **Invoice total.**

If any items that you wish to claim for are over £500, the Council will require three quotes from reputable companies to ensure that value for money is achieved. For works or services over £500, the Council will need to approve all payments in advance of the work being commissioned.

If you require help in making upfront payments please contact the Council, who may be able to assist.

Additional costs incurred in selling your home and/or purchasing another property

In addition to Home Loss and Disturbance Payments, you can also claim for reimbursement of legal and/or surveyor's costs you incur that are linked to the sale of your current property and (where relevant) the purchase of your new home and to the extent that these costs have not already been considered as part of other payments. These costs may include, for example:

- **Legal (*conveyancing*) fees arising from the sale of your home to the Council and the purchase of a new property**
- **Stamp Duty Land Tax (*relevant to the value of your existing property*)**
- **Surveyor's fees arising from the acquisition of a replacement property**
- **Survey fee and costs in connection with the redemption/transfer of an existing mortgage or raising a new one.**

Once you have found a solicitor and/or a surveyor you will need to obtain a quotation from them and provide a copy of this to the Council for approval. Please make sure that your surveyor and/or solicitor knows that they will only be paid at the end of the process once the sale has been completed.

You should note that it is your responsibility as leaseholder to prove to the Council that any claims for compensation you make are reasonable and have been incurred directly because of the Council acquiring your property. In practice this is likely to involve the provision of proper receipts and the prior agreement of costs where appropriate.

If you are unsure about any payments or invoices you receive from suppliers, we strongly recommend that you speak to the Council before you make any payment or commitment to a company.

The Council will also reimburse you for any other relevant costs as set out in the relevant Ministry of Housing, Communities and Local Government guidance to the extent that these costs have not already been considered as part of other payments.

5.2 COMPENSATION FOR NON-RESIDENT LEASEHOLDERS

Basic Loss Payment

A Basic Loss Payment is an additional sum of money that you may be entitled to if you are being compelled to sell your property in certain circumstances, such as, because of a regeneration scheme. This payment is in addition to the payment of the market value for your property. As a non-resident leaseholder you are entitled to receive 7.5% of the market value of your property, or a maximum payment of £75,000, whichever is the lower. Please note these amounts are set by central government and may change from time to time.

You must have owned the property or been a tenant for at least a year to qualify.

You must make a claim for a Basic Loss payment in writing to the Council.

Additional costs incurred in selling your property and/or purchasing another property

In addition to a Basic Loss Payment, you can also claim for reimbursement of legal and/or surveyor's costs you incur that are linked to the sale of your current property and (where relevant) the purchase of a new property and to the extent that these costs have not already been considered as part of other payments. These costs may include, for example:

- **Legal (*conveyancing*) fees arising from the sale of your home to the Council and the purchase of a new property**
- **Stamp Duty (*relevant to the value of your existing property*)**
- **Surveyor's fees arising from the acquisition of a replacement property**
- **Survey fee and costs in connection with the redemption/transfer of an existing mortgage or raising a new one.**

Once you have found a solicitor and/or a surveyor you will need to obtain a quotation from them and provide a copy of this to the Council for approval. Please make sure that your surveyor and/or solicitor knows that they will only be paid at the end of the process once the sale has been completed. You should note that it is your responsibility as leaseholder to prove to the Council that any claims for compensation you make are reasonable and have been incurred directly because of the Council acquiring your property.

In practice this is likely to involve the provision of proper receipts and the prior agreement of costs where appropriate.

If you are unsure about any payments or invoices you receive from suppliers or what costs will be met by the Council, we strongly recommend that you speak to the Council before you make any payment or commitment to a company.

The Council will also reimburse you for any other relevant costs as set out in the relevant Ministry of Housing, Communities and Local Government guidance to the extent that these costs have not already been considered as part of other payments.

6. YOUR NEW HOME OPTIONS

6.1 RESIDENT LEASEHOLDERS

Many leaseholders will wish to make their own arrangements when they have agreed a valuation for their existing property and simply purchase a new home on the open market without any further involvement from the Council. However, if you are a resident leaseholder the Council can offer you options which are designed to allow you to stay on the estate.

We recognise that each freeholder or leaseholder will be unique in both their choice of where to move and in their personal situation. We can help you explore the option/s that best suit you and provide you with support.

In the first instance the offer of taking up one of the options below and moving to a new home will be offered to in phase leaseholders on the same estate. Once the Council has received notification from all in-phase leaseholders on that estate who wish to take up one of the options for a new home, the Council will make an assessment of whether there are any 'surplus' properties available that can be offered to other leaseholders (*please note that in-phase leaseholders will not be allowed to defer their move to a new property in a later phase of the regeneration if suitably sized new homes are available in the current phase*). If the Council decides that this is the case then these 'surplus' homes will be offered in accordance with the priority criteria as set out in The Local Lettings Plan set out in **section 5** of the "tenant offer" above.

Housing Options

A) Open Market Purchase B) Shared Equity C) Shared Ownership

A) Open Market Purchase

This option is the straightforward purchase of your property for the agreed market value. When leaseholders reach agreement with the Council regarding their valuation and compensation payments, they will then make their own arrangements to find a suitable new home.

B) Shared Equity

If the market value of your current property is less than the market value of a new similar sized (by bedrooms) or smaller property and you are unable to afford the difference (as per option B) then the option of shared equity will be offered to you.

To be eligible for this option you will be required to invest the full market value of your existing property into the purchase of your new home. This will buy a proportion of the equity of the new property.

The Council will retain the remaining unpurchased proportion of the equity of the property. This remaining proportion can be purchased by you at its market value at any future point. No rent is charged on the unpurchased proportion.

LEASEHOLDER AND FREEHOLDER OFFER

Key information for this option includes:

- Your existing property will be valued by the Council in accordance with Section 4.2
- You will select one of the available new build properties on the estate of a similar size (by bedrooms) or smaller and this will be valued by the Council
- Any planned maintenance contributions not covered by the service charge will be charged as per the terms and conditions of the lease. You will be responsible for 100% of these costs irrespective of the proportion of equity you own in the new property
- You will be notified of the estimated annual service charge. You will be responsible for 100% of these costs irrespective of the proportion of equity you own in the new property
- You will have the normal rights and responsibilities of a full owner-occupier
- The length of lease will be 125 years
- You will be able to sub-let the property with written permission from the Council
- There is no minimum stake that you would need to purchase in order to qualify for shared equity. However, you are required to invest the full market value of your existing home to be eligible for this option
- The proportion of equity that you own in the new property is recorded on the lease
- You do not have to pay any rent on the unpurchased proportion of the property
- You can increase the proportion of equity you own in the new property up to 100% in accordance with the provisions of the lease. This is known as staircasing
- Provided you have not staircased to 100% ownership of the property, assignment (at nil value) of the property can only occur once, after which the unpurchased proportion of the property must be acquired from the Council at market value
- If the new owners choose not to acquire the unpurchased proportion at this point then the Council will exercise its right of pre-emption and acquire their proportion of the property from them at market value
- The single succession to or single assignment (at nil value) of the property can be to whomever the leaseholder chooses
- Prior to the single assignment (at nil value) of or succession to the property, if you wish to sell the proportion of equity that you own in the new property then the Council will exercise its right of pre-emption.

C) Shared Ownership

Shared ownership is a part-buy, part-rent scheme under which you own a proportion of the property and pay a rent on the unpurchased proportion, which is retained by the Council.

If you choose, for whatever reason, not to invest the full market value of your current property (*or the maximum that you can afford to – please see Section 6.3*), then you will be offered the shared ownership option. After an initial period, you will have the right to purchase additional proportions of equity in the property up to 100% in accordance with the provisions of the lease. This is known as staircasing. If you increase the proportion of equity you own in the new property, the amount of rent you pay will decrease.

If you purchase 100% of the equity in the new property, then no rent will be payable.

Key information for this option includes:

- Your existing property will be valued by the Council in accordance with Section 4.2
- You will select one of the available new build properties on the estate and this will be valued by the Council
- You will be notified of the estimated annual service charge. You will be responsible for 100% of these costs irrespective of the proportion of equity you own in the new property
- Any planned maintenance contributions not covered by the service charge will be charged as per the terms and conditions of the lease. You will be responsible for 100% of these costs irrespective of the proportion of equity you own in the new property
- The length of lease will be 125 years
- You will have the normal rights and responsibilities of a full owner-occupier
- You will be able to sub-let the property with written permission from the Council
- The proportion of equity that you own in the new property is recorded on the lease
- You can increase the proportion of equity you own in the new property up to 100% in accordance with the provisions of the lease. This is known as staircasing
- Succession to the property can occur an unlimited number of times to whomever the leaseholder chooses
- Provided you have not staircased to 100% ownership of the property, assignment (at nil value) of the property can only occur once, after which the unpurchased proportion of the property must be acquired from the Council at market value
- If the new owners choose not to acquire the unpurchased proportion at this point, then the Council will exercise its right of pre-emption and acquire their proportion of the property from them at market value
- Prior to the single assignment (at nil value) of the property, if you wish to sell the proportion of equity that you own in the new property then the Council will exercise its right of pre-emption
- For the first year of the shared ownership lease, the rent that you pay will be equivalent to 2.5% of the unpurchased proportion of the property, payable in monthly instalments. This amount will then be adjusted each year in line with the Retail Price Index (RPI) + 0.5%
- When additional proportions of equity are purchased, the rent is recalculated in the same way, at 2.5% of the new unpurchased proportion, adjusted each year thereafter in line with the Retail Price Index (RPI) + 0.5%.

6.2 OPTIONS FOR NON-RESIDENT LEASEHOLDERS

If you do not live in the property you own, the Council will purchase your property for the agreed market value. On completion of the sale of your property to the Council you will need to give the Council vacant possession. If your property is tenanted it is your responsibility to ensure that any tenants have left the premises by the date of completion.

6.3 OPTIONS FOR LEASEHOLDERS IN NEED OF ADDITIONAL SUPPORT AND ASSISTANCE

It is recognised that some leaseholders may require additional support and assistance in securing a suitable new home. For example, the financial position of the leaseholder may preclude them from being able to satisfy all of the minimum purchase requirements of the various options outlined in section 6.1.

To qualify for additional support, we will ask for supporting documents to be provided to confirm income and expenditure. Where it can be confirmed that a leaseholder is in financial difficulties and qualifies for additional support and assistance, the following options will be explored and offered through the Corporate Director of Housing.

LEASEHOLDER AND FREEHOLDER OFFER

Shared Equity

The starting point for eligibility for a shared equity offer requires you to invest the full market value of your existing property into the purchase of your new home.

To do this, if you are only able to raise some borrowing, but at a level that is less than the mortgage on your existing property, you will be offered shared equity to the level you can afford to purchase based on investing all the equity you hold in your existing property and the maximum new mortgage you can obtain.

If you are unable to raise any borrowing (*e.g. mortgage*) at all and cannot otherwise invest the full market value of your existing property, then you will be offered shared equity to the level you can afford to purchase based on investing all the equity you hold in your existing property.

Shared ownership will be available and offered to leaseholders who choose not to re-invest the full value of their existing home or the maximum amount that they can afford to invest. Therefore, if a leaseholder wants to purchase on a shared equity basis, provided they invest the maximum amount that they can afford to in line with the criteria above, they should be able to purchase on this basis. This will be subject to an independent financial assessment and would require approval by the Corporate Director of Housing. In both options, the leaseholder would be able to staircase, increasing the proportion of the property they own.

6.4 OPTIONS FOR LEASEHOLDERS ASSESSED AS VULNERABLE AND IN NEED OF ASSISTANCE AND SUPPORT

The Council is also aware that there are leaseholders that have complex needs which make them vulnerable. We may be able to provide additional support to those leaseholders with complex needs that are assessed as being vulnerable and assist them with their move.

Criteria for vulnerability assessment

A vulnerable leaseholder for the purpose of this offer is someone that is “less able to safeguard his or her personal welfare or the welfare of any children in the household and will be in need of care and attention by reason of age, infirmity, or suffering from chronic illness or mental disorder, or substantially handicapped by being disabled”.

Detailed consultations will be conducted with social services and relevant health practitioners to obtain the necessary information and documentation (*e.g. care needs/packages*) regarding the needs of the household to assess and determine vulnerability. The assessment will be subject to an independent financial assessment.

If the outcome of the assessment is that the household is vulnerable, the leaseholder must meet all the following criteria to qualify for extra assistance and support:

- **The leaseholder must have been exclusively resident in their property for the previous two years**
- **The leaseholder must not own any other leasehold or freehold interests in the UK or abroad; and**
- **The leaseholder is deemed by the Council to be in financial hardship and as result will not be able to rent or buy in the private sector.**

Any request from vulnerable leaseholders for additional assistance not covered by this Options Document will require approval by the Corporate Director of Housing (see **Section 6.5**).

6.5 CORPORATE DIRECTOR OF HOUSING

The Corporate Director of Housing will assess the need for flexibility for leaseholders who wish to make a claim for assistance in respect of one or more of the following:

- **Additional financial support or assistance**
- **Being assessed as vulnerable and in need of assistance and support**
- **Early Buybacks.**

To assess a leaseholder's individual circumstances the following information will be requested:

- **The option you would like to take**
- **Your current financial situation, including monthly/annual housing costs**
- **The amount you can reinvest in your new property**
- **Any relevant supporting information relating to financial difficulty or vulnerability.**

A Project Officer will work with you to complete the required forms.

Based on the information provided by the leaseholder, and if required a social services representative, health practitioner or GP, the Project Officer will make a recommendation to the panel, which will then make the decision formally at a meeting. A representative of the Residents Association may be in attendance to present the case at the meeting.

The panel will:

- **Assess each case presented to it**
- **Consider the case in accordance with the criteria set out in this document.**

The panel will consider each case within four weeks of being provided with recommendations and supporting information. The leaseholder will be notified of the decision of the panel in writing within one week of the meeting.



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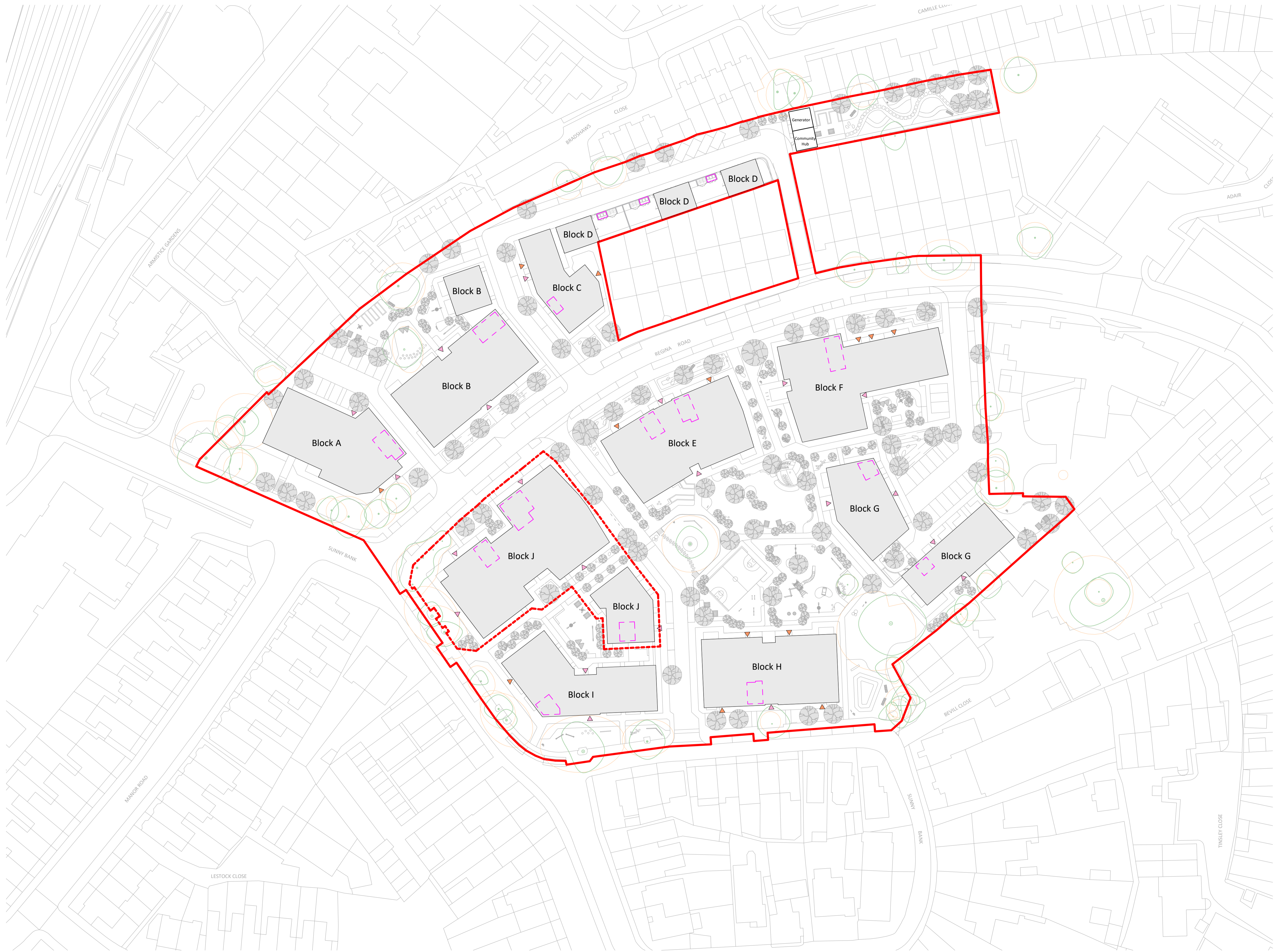
If you need help understanding this document,
contact your **Independent Tenant and Leaseholder Advisers (ITLAs)**:

Rob Lantsbury: 07961 532 761 or email rob.lantsbury@publicvoice.london
Christine Searle: 07764 421 981 or email christine.searle@publicvoice.london

Or you can write to **Public Voice** at:
Public Voice CIC, Tottenham Town Hall, Town Hall Approach Road, London N15 4RX

UNDERSTANDING COMMUNICATIONS

If you, a family member, or neighbour would like us to provide this information in a different language, large print or audio format, please contact the team on reginaroad@croydon.gov.uk or call 020 8726 6100 ext. 44524.



- Key**
- Phase 02 Site Boundary
 - Site Boundary
 - Proposed Building Blocks
 - Refuse Storage
 - ▲ Building Entrances – Accessible for Disabled People
 - ▲ Flat Entrances – Accessible for Disabled People

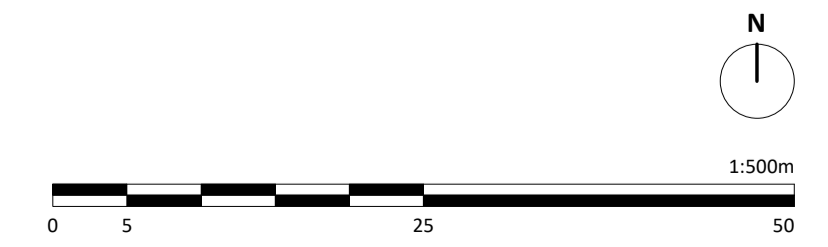
Notes:
 Do not scale. All dimensions are in millimetres unless otherwise stated. This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and/or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty provider requirements. Report any discrepancies, if in doubt ask.

Rev.	Status	Date	Description	Drn	Chk
C01	A3	10.06.25	Planning Issue	AL	AL
C02	A3	12.06.25	Updated Planning Issue. Internally Reviewed.	AL	AL

Client Name: Croydon Council	
Project Name: Regina Road Estate Regeneration	
Drawing Name: Site Block Plan	
Drawing Number: RRM-BPTW-S01-ZZ-DR-A-0103	Rev: C02 Status: A3
Project No: 23-129	RIBA Stage: 03 Drawn By: JK Scale: 1:500 @ A1

PLANNING ISSUE

40 Norman Road,
 Greenwich, London
 SE10 9QX
 t 020 8293 5175
 bptw.co.uk



PRE-DEMOLITION AUDIT

Regina Road

Produced by XCO2 on behalf of London Borough
of Croydon

September 2024



XCO2
56 Kingsway Place
Sans Walk
London EC1R 0LU

+44 (0)20 7700 1000
mail@xco2.com
xco2.com

XCO₂

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PRE-DEMOLITION AUDIT

Remarks	Issued for comment					
Prepared by	AD					
Checked by	AJ					
Authorised by	LW					
Date	26/09/2024					
Project reference	10.075					

INTRODUCTION

A Pre-demolition Audit has been undertaken for the proposed development at Regina Road. The site is within the London Boroughs of Croydon. This assessment has been carried out in accordance with the latest published London Plan Circular Economy Statement guidance (March 2022).

Pre-Demolition Audits are an essential tool for understanding the types and quantities of existing materials and structures present on a development site. They set out a detailed inventory of existing materials that will need to be managed upon demolition/deconstruction, while offering routes for the reuse, repurposing, or recycling of these components, either on-site or off-site, to meet London Plan demolition waste management requirements.

This Pre-Demolition Audit has been undertaken at concept design stage for Regina Road development, to be submitted as supporting evidence for the Circular Economy (CE) statement and read in conjunction with the pre-redevelopment audit.

SITE & PROPOSAL

The site is located within the London Borough of Croydon. The 2-hectares application site extends

across both the north and south sides of Regina Road. Accessed from Regina Road, the site contains two residential buildings (4 and 12 storeys in height) to the north of Regina Road and, to the south, land that is occupied by five residential buildings (including two 12 storey buildings), a building containing a pre-school and associated children's playground, community facilities and a Multi-Use Games Area (MUGA).

The site is in close proximity to Northwood Junction Overground and National Rail station, around a 10 minutes' walk away. Alternatively, London tram services can be accessed from Birbeck tram stop, around 1.5 kilometres away, bus services can also be accessed from Penge Road.

The approximate location and boundary of the application site is shown in Figure 1 overleaf.

 Site Location



Figure 1: Approximate location of application site

POLICY FRAMEWORK

The Pre-Demolition Audit responds to the relevant Circular Economy Policies of the London Plan. The most relevant applicable policies in the context of the proposed development are presented below.

THE LONDON PLAN (2021)

The London Plan (2021) published 2nd March 2021 sets out the Mayor’s overarching strategic spatial development strategy for greater London and underpins the planning framework from 2019 up to 2041. This document replaced the London Plan 2016.

The London Plan has a strong sustainability focus with many policies addressing the concern to deliver a sustainable and zero carbon London, particularly addressed in chapter 9 - Sustainable Infrastructure.

The following policies, related to embodied carbon are of relevance for the proposed development:

POLICY SI 7 REDUCING WASTE AND SUPPORTING THE CIRCULAR ECONOMY

The new London Plan has introduced several new policy requirements that consider circular economy principles.

Policy D3 ‘Optimising site capacity through the design led approach’ and Policy SI7 ‘Reducing waste and supporting the Circular Economy’ set clear policy objectives to:

- Create high quality buildings that consider practicality of use, flexibility, safety and building lifespan;
- Encourage the use of appropriate construction methods and robust materials;
- Take into account the principles of the circular economy and aim for high sustainability standards;

- Ensure that products and materials are retained at their highest value for as long as possible;
- Improve resource efficiency;
- Minimise waste (both during construction and building operation); and
- Meet or exceed the following targets:
 - Zero biodegradable/recyclable waste to landfill by 2026;
 - Municipal waste recycling target of 65% by 2030;
 - Reuse/recycling or recovery of 95% of construction and demolition waste;
 - The beneficial use of at least 95 per cent of excavation waste.

Policy SI7 requires developments that are referable to the Mayor of London to submit a Circular Economy Statement as part of a planning application; it states:

Referable applications should promote circular economy outcomes and aim to be net zero-waste. A Circular Economy Statement should be submitted, to demonstrate:

- How all materials arising from demolition and remediation works will be re-used and/or recycled;
- How the proposal's design and construction will reduce material demands and enable building materials, components and products to be disassembled and re-used at the end of their useful life;
- Opportunities for managing as much waste as possible on site;
- Adequate and easily accessible storage space and collection systems to support recycling and re-use;
- How much waste the proposal is expected to generate, and how and where the waste will be managed in accordance with the waste hierarchy;
- How performance will be monitored and reported.

Policy SI7 encourages London boroughs to set their own lower local thresholds for Circular Economy Statements.

The London Plan states that the decision tree shown in figure 2 'should be followed to inform the design process for the development from the outset. It should

be informed by the **pre-redevelopment and pre-demolition audits** where possible'.

AIMS AND OBJECTIVES

This report aims to address the requirements for pre-demolition audits outlined by the previous relevant policies, in particular including;

- Explanation as to why existing buildings are being demolished
- Summary of the key existing materials and components present on site, estimations of quantities and a calculation of the associated embodied carbon
- Assessment of whether the existing materials and components are suitable for reclamation and recycling
- Outlining opportunities for reuse and recycling within the proposed development or off-site

This report will support the project's Circular Economy Statement, Whole Lifecycle Carbon Assessment, and Sustainability Statement.

The information presented in the report is based on a site visit undertaken by XCO₂ on 13th August 2024, alongside information supplied by the Architect and Structural Engineer of the proposed development.

In addition to the above, the report will provide guidance on the following aspects;

- The amount of demolition waste
- A list of local material recycling and reclamation management facilities per material type
- Target reuse and reclamation rates in line with GLA requirements

SCOPE

The following are requirements to be included within a pre-demolition audit:

- Photos of internal and external areas
- Justification for demolition and assessment of carbon impacts
- Inventory of key existing components and materials present onsite.
- Opportunities for reuse and recycling either within the proposed development or off-site nearby/further afield

PRE-DEMOLITION AUDIT

- Recommendations for recovering the value of existing building elements/materials.
- Predicted quantity of demolition waste
- Target reuse and reclamation rates.

ACCOMPANYING REPORTS

This report accompanies, and follows on from, the Pre-redevelopment audit, in which the potential for the retention of the existing buildings for incorporation in the new proposals was explored. This report should be read in conjunction with the Pre-redevelopment audit. Other relevant reports submitted as part of the planning application include Circular Economy Statement, Whole Life Carbon Assessment and Sustainability Statement, for which this pre-demolition audit forms supporting evidence.

PROJECT TEAM

- Client: Croydon Council
- Architect: BPTW
- Structural Engineer: Curtins
- MEP Consultant: Silcock Dawson
- Landscape Design Consultant: Farrer Huxley

BREEAM

If required, this report can also be used as evidence towards BREEAM credit WST01 Construction Waste Management (pre-demolition audit), satisfying criteria 1-3. To secure the credit, this report must be referenced in the project's Resource Management Plan. Actual, final waste arisings and waste management routes must be compared with those forecast, and any significant deviations from planned targets must be investigated and explained.

PROPOSED DEVELOPMENT

The proposal includes the redevelopment of the Housing Estate comprising up to 450 residential units, a pre-school facility, a community use facility, a multi-use games area along with associated public realm, landscaping, refuse/recycling and car and cycle parking facilities.

EXISTING SITE

The site contains two residential buildings (4 and 12 storeys in height) to the north of Regina Road and, to the south, land that is occupied by five residential buildings (including two 12 storey buildings), a building containing a pre-school and associated children’s playground, community facilities and a Multi-Use Games Area (MUGA).

The Site also incorporates car parking areas, internal access roads on its south side and, on its north side, a former garages site which forms back land between the rear of properties lining Regina Road to the south and the rear of properties lining Bradshaws Close, King’s Road and Camille Close to the north. The Site also incorporates a public footpath that provides access to the back land area from Regina Road (between no’s 139 and 141). A large substation also sits centrally within the Site.

A tree that is the subject of a Tree Protection Order (TPO) sits adjacent to the existing pre-school in the southern part of the Site.

Not all buildings on site were accessible during the site visit, however one of the following building typology were assessed:

- Tower blocks (1-87, 2-56, 58-108a Regina Road)
- Maisonettes (89-123 Regina Road)
- Residential flats (110a, 110b, 112, 114, 99-128 Regina Road and 1-4, 5-8 Sunny Bank)

It is therefore assumed the internal materiality and condition for each typology remains the same across that typology.

The pre-school building was inaccessible, where only an assessment of the external fabric could take place.



Figure 2: Existing site layout with red line boundary, viewing the site from the North East corner

TOWER BLOCK (1-87 REGINA ROAD)

The 1-87 Regina Road tower block currently consists of 4no. residential units per floor, across 11 floors. On site, access to both furnished and stripped back units allowed a view of build ups and the structure.



Figure 3: Façade of 1-87 Regina Road

MAISONNETTES (88-123 REGINA ROAD)

The 88-123 Regina Road maisonnettes are 4 storeys, with 2 bed units throughout and 12 units per block. They are constructed with traditional brickwork, with a shallow pitched roof.



Figure 4: Aerial view of 88-123 Regina Road

RESIDENTIAL FLATS (110A REGINA ROAD)

The 110a Regina Road building is the most recent building on site, being constructed in the early 2010s. It is a four-storey block of flats with pitched roof, clad in brick and render, and associated parking facilities, constructed in early 2010s.



Figure 5: Façade of 110a Regina Road

RESIDENTIAL FLATS (1-4 SUNNY BANK)

The 1-4 Sunny Bank block is similar to the maisonettes in construction, being a brick construction though is a three-storey building as opposed to four stories.



Figure 6: 1-4 Sunny Lane

PRESCHOOL

The preschool on site was not accessible during the site visit, however it is confirmed to be a single storey prefabricated building. Other materiality is not available; therefore, the build ups have been assumed to be the following:

- Composite façade panels with steel frame and fasteners
- Timber internal partitions
- Aluminium windows with frosted windows to WCs
- Timber pitched roof with tiled finish
- Mixture of tiled and vinyl flooring
- Painted and plaster to the walls
- Suspended ceiling system
- Brickwork and concrete stair and ramp to front of building with metal railings
- PVC guttering
- Metal gating to external areas
- Car park to the front with pockets of grass



Figure 7: View of Preschool from Regina Road

LAND TO REAR OF 89-157 REGINA ROAD

The land to the rear of 89-157 Regina Road was previously occupied by garages, however these have been removed and since then the land has remained vacant. As such the area is dominantly by hard landscaping with a small number of trees.



Figure 8: Aerial view of land to rear of 89-157 Regina Road

EXTERNAL WORKS

The external areas consist of mostly soft landscaping, with a number of car parks across the site. The Multi Use Games Area (MUGA) is present to the south of 2-56 Regina Road, providing a play area for residents. Play equipment is also present within the garden area of the pre-school.



Figure 9 and 10: Floor plan and East façade of North Block

METHODOLOGY

The audit process used in carrying out the pre-demolition audit and completing this report follows the requirements set out in the London Plan Guidance: Circular Economy Statements, 2022

CLIENT BRIEF

This report summarises the actions taken during Stage 3. The applicant recognises that the Whole Life-cycle Carbon calculations presented in this report will need to be revisited and if appointed, amended at post-construction stage (upon commencement of RIBA Stage 6).

SITE VISIT

A site visit was undertaken on 13th August 2024 by Angus Jenkins and Ajjay Dhesi, who were given access to all areas of the site bar the preschool, including few internal areas of the existing building.

The results of the audit have been reviewed by Angus Jenkins a Principal Sustainability Consultant at XCO2 who has appropriate knowledge of building construction, materials and waste streams through their experience as a built environment professional, as required by London Plan Guidance. No demolition contractor nor main contractor had been appointed at the time of undertaking the site visit.

REUSE AND REFURBISHMENT POTENTIAL

Prior to this assessment, the quality and condition of existing structures and materials were assessed with a view to determining the potential for reuse and refurbishment of the building. This assessment formed the basis for a separate pre-redevelopment audit report and is not included within this report.

IDENTIFICATION AND QUANTIFICATION OF KEY BUILDING MATERIALS AND COMPONENTS

As the key strategy proposed is to demolish/deconstruct the existing structures, this

report presents a summary of the key materials present in the existing building and across the site (see page 18), with a full documentation of materials set out in Appendix C.

REUSE AND RECYCLING OF KEY BUILDING MATERIALS AND COMPONENTS

The following steps were implemented to encourage reuse and recycling of key materials and building components:

- 1- Recommend potential applications (and any related issues) for the reuse and recycling of the key materials in accordance with the waste hierarchy.
- 2- Identify opportunities for reuse and recycling within the same development.
- 3- Identify local re-processors or recyclers for recycling of materials.
- 4- Identify overall recycling targets.
- 5- Identify reuse targets where appropriate.
- 6- Identify overall landfill diversion rate for all key materials.

TARGET SETTING

Targets are set for reuse and reclamation, and diversion of demolition waste from landfill, as outlined on page 43.

LIMITATIONS OF THE AUDIT

There were some access limitations to the site, principally the preschool building, though all residential units were not accessible due to them being occupied. Assumptions had to be made about these areas based on the surrounding materiality or similar typologies across the site. There was also limited access to any

services or plant rooms, so these have been assumed to be gas powered.

Due to the non-intrusive nature of the survey, a number of assumptions had to be made regarding the structure of the buildings, the buildups of the walls, the foundation designs and roof, as well as the sub-layers within the external areas. Certain areas and aspects of the site couldn't be accurately measured, for example due to inability to access roof areas or measure the height of the external walls, and so best assumptions have been made based on other measurements and calculations.

The audit did not include an asbestos survey (this has been completed separately by another consultant), nor did it include assessment of ground conditions / soil assessment.

WASTE HIERARCHY

Defra's 'Waste Hierarchy' (Figure 11) assigns priorities to different waste management options according to their beneficial impact on reducing carbon. Following this hierarchy, this report recommends direct reuse as much as possible, followed by recycling options for non-hazardous materials. Disposal of waste in landfill (or incineration without energy recovery) would always only be a last resort option once other more beneficial pathways have been fully explored.

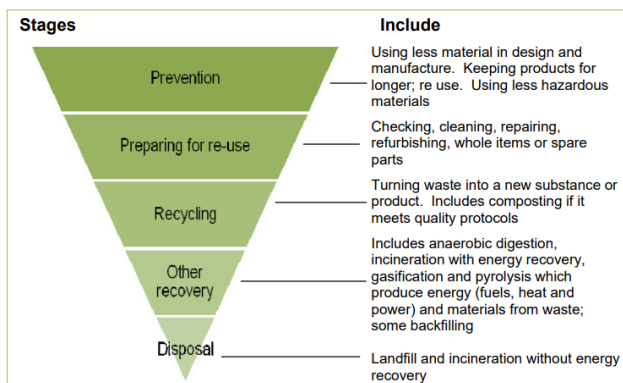


Figure 11: Waste Hierarchy, DEFRA

KEY WASTE GROUPS

Table 1: Key waste groups present with European Waste Codes (EWC)

EWC: 16 02	Waste from electrical and electronic equipment
16 02 09	Transformers and capacitors containing PCBs
16 02 10	Discarded equipment containing or contaminated by PCBs other than those mentioned in 16 02 09
16 02 11	Discarded equipment containing chlorofluorocarbons, HCFC, HFC
16 02 12	Discarded equipment containing free asbestos
16 02 13	Discarded equipment containing hazardous components other than those mentioned in 16 02 09 to 16 02 12
16 02 14	Discarded equipment other than those mentioned in 16 02 09 to 16 02 13
EWC: 17 01	Concrete, bricks, tiles and ceramics
17 01 01	Concrete
17 01 02	Bricks
17 01 03	Tiles and Ceramics
17 01 06	Mixtures of, or separate fractions of concrete, bricks, tiles and ceramics containing hazardous substances
17 01 07	Mixtures of concrete, bricks, tiles and ceramics other than those mentioned in 17 01 06
EWC: 17 02	Wood, glass, plastic
17 02 01	Wood
17 02 02	Glass
17 02 03	Plastic
17 02 04	Glass, plastic and wood containing or contaminated with hazardous substances

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EWC: 17 03	Bituminous mixtures, coal tar and tarred products
17 03 01	Bituminous mixtures containing coal tar
17 03 02	Bituminous mixtures other than those mentioned in 17 03 01
17 03 03	Coal tar and tarred products
EWC: 17 04	Metals (including their alloys
17 04 01	Copper, bronze, brass
17 04 02	Aluminium
17 04 03	Lead
17 04 04	Zinc
17 04 05	Iron and steel
17 04 06	Tin
17 04 07	Mixed metals
17 04 09	Metal waste contaminated with hazardous substances
17 04 10	Cables containing oil, coal tar and other hazardous substances
17 04 11	Cables other than those mentioned in 17 04 10
EWC: 17 05	Soil ((including excavated soil from contaminated sites), stones and dredging spoil
17 05 03	Soil and stones containing hazardous substances
17 05 04	Soil and stones other than those mentioned in 17 05 03
17 05 05	Dredging spoil containing hazardous substances
17 05 06	Dredging spoil other than those mentioned in 17 05 05
17 05 07	Track ballast containing hazardous substances
17 05 08	Track ballast other than those mentioned in 17 05 07

EWC: 17 05	Insulation materials and asbestos-containing construction materials, stones and dredging spoil
17 06 01	Insulation materials containing asbestos
17 06 03	Other insulation materials consisting of or containing hazardous substances
17 06 04	Insulation materials other than those mentioned in 17 06 01 and 17 06 03
17 06 05	Construction materials containing asbestos
EWC: 17 06	Gypsum based construction materials
17 08 01	Gypsum-based construction materials contaminated with hazardous substances
17 08 02	Gypsum-based construction materials other than those mentioned in 17 08 01
EWC: 17 09	Other construction and demolition wastes construction materials sites), stones and dredging spoil
17 09 01	Construction and demolition wastes containing mercury
17 09 02	Construction and demolition wastes containing PCB (for example PCB-containing sealants, PCB-containing resin-based floorings, PCB-containing sealed glazing units, PCB-containing capacitors)
17 09 03	Other construction and demolition wastes (including mixed wastes) containing hazardous substances
17 09 04	Mixed construction and demolition wastes other than those mentioned in 17 09 01, 17 09 02 and 17 09 03
EWC: 19 12 04	Plastic and rubber
19 12 04	Plastic and rubber and is classed as a Absolute Non-hazardous code

JUSTIFICATION FOR DEMOLITION

FINDINGS OF PRE-REDEVELOPMENT AUDIT

A Pre-redevelopment audit has been undertaken by XCO2 to evaluate the potential for integration of the existing building into the proposed development. This report offers a detailed response to the GLA's Decision Tree overleaf (Figure 12)

The Pre-redevelopment audit concluded that:

1. Based on XCO2's non-intrusive survey, demonstrated that due to the age, build quality, foundation capacity and structural issues associated with the Large Panel Systems (LPS) panels, that it would not be suitable to retain and reuse the existing buildings.
2. It was not deemed possible to retain and retrofit the existing buildings while also meeting the client's brief on the site, as the footprints are currently hindering the efficiency of the placement of buildings to achieve the proposed number of units.
3. The tower blocks pose issues such as structural stability and poor construction quality as result of the LPS panels. Further, it is estimated that the existing buildings were constructed in the 1960s and therefore likely would not be able to meet current building standards without significant alterations.
4. Following input from the structural engineers, the existing building structure and foundations are not judged to be structurally capable of supporting the added loads of the much larger buildings proposed for the site. Given the structural inadequacy, there is no clear way that any of the structure could be retained in part to be integrated into the proposed building.
5. Given the site constraints, it wouldn't be spatially feasible nor beneficial in terms of carbon to construct the proposed development around the existing building while retaining the existing structure.

RETAIN AND RETROFIT/ PARTIAL RETENTION AND REFURBISHMENT

It was not deemed possible to retain and retrofit the existing buildings while also meeting the client's brief on the site.

The tower blocks on site are constructed using LPS panels, which pose serious structural issues, which have been raised by The Building Research Establishment (BRE). The BRE report also confirmed that the LPS panels have led to issues with condensation, water ingress and consequently mould growth, posing health risks to those residing in the units. A life cycle costing task was also undertaken for a refurbishment and new build options, which found a refurbishment would carry a higher cost, will offer limited extended life and will fall below the current standards.

The Maisonettes and Flats (Regina Road and Sunny Bank) do not have the structural capacity to support the expanded proposed development with an increased footprint (up to 10 storeys) and change in layout. They also fall short of current energy efficiency standards and will likely carry high operational energy loads as a result. These buildings have also reached the end of their design life, with a limited potential extended life span should they be retained.

The preschool offers little advantage for retention, whereby it will impact the efficiency of the proposed site, whilst being of pre-fabrication construction means the building can be disassembled to recover the maximum material value.

Within the context of the redevelopment, the placement of the buildings not only obstructs the proposed layout, but would impact the efficiency of the proposed units on site. Redevelopment allows for increased efficiency in the use of space on site, and maximising the availability of facilities on site for the community. Therefore, should the building be retained on site there would be difficulty providing all the proposed required uses.

Given all that's highlighted above, it is deemed unsuitable to retain the buildings in any form.

DISASSEMBLE AND REUSE

Given the age of the buildings and the poor construction of many building elements, materials onsite aren't generally suitable for reuse. Reuse cases are limited to the brickwork, timber, ceramic sanitaryware and steelwork depending on their condition. Where possible materials such as the metal façade cladding, windows and doors should be disassembled and recycled, and the rest should be possible to recycle following demolition works.

DEMOLISH AND RECYCLE

A number of elements cannot be disassembled easily, including the concrete floor slab and foundations and associated steel reinforcement. These could be recycled following demolition of the building.

WHOLE LIFE CARBON (WLC)

A Whole Life Carbon Assessment will be undertaken for the proposed development at Regina Road development and submitted as part of the planning application. Utilising One Click LCA, this report has calculated the embodied carbon associated with the existing materials.

Measuring the production emissions only (Modules A1-A3) these figures help understand the carbon emissions that could be saved by reusing and recycling the materials either on-site or off-site, captured within Module D, or 'Benefits beyond the System Boundary'. The savings from this reuse and recycling would be captured within Modules A1-A3 of the development utilising them.

As it wasn't possible to reuse the existing building in its current form within the new building, no embodied carbon optioneering was undertaken with a view to integrate this into the proposed development

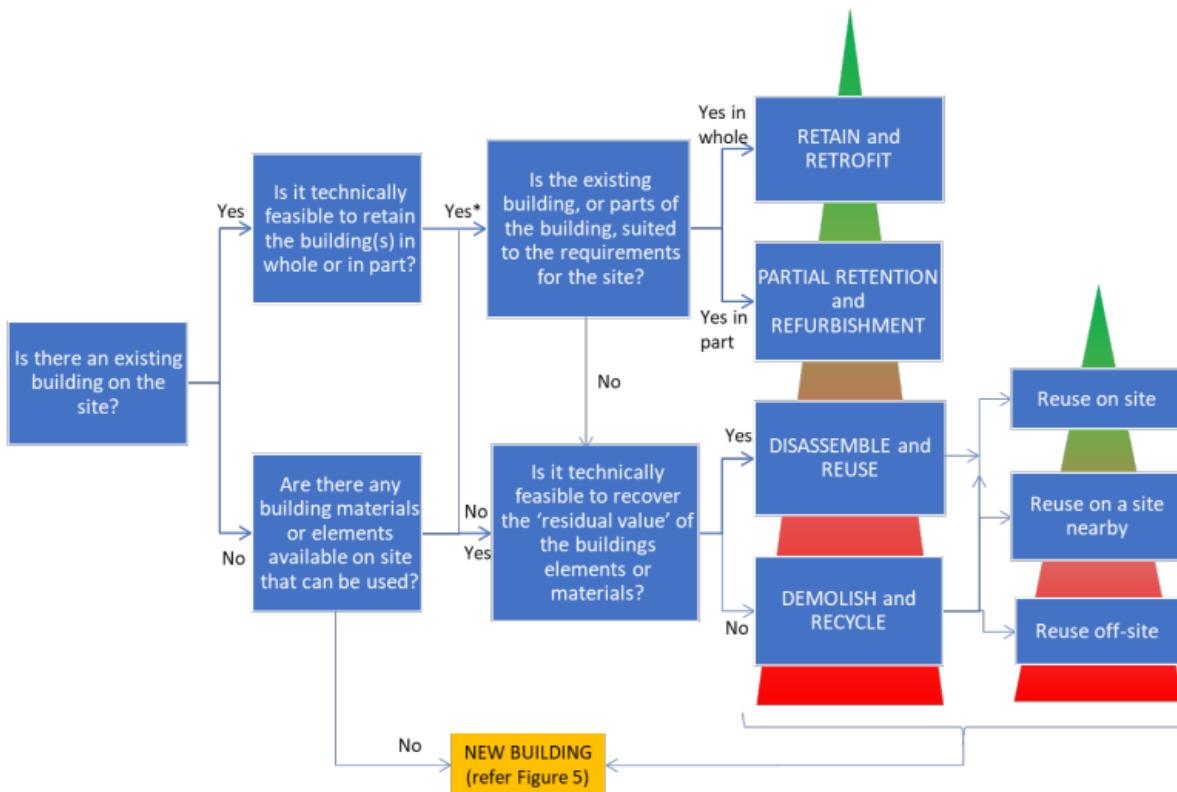


Figure 12: Decision tree for design approaches for existing structures / buildings, GLA

IDENTIFICATION AND QUANTIFICATION OF KEY MATERIALS

KEY MATERIALS

At the time of the site survey that most buildings were still occupied and largely furnished. It is expected that all furnishings will be removed by current tenants prior to demolition and so it doesn't feature in the calculation as demolition material.

The materials onsite were quantified via the visual survey, with aid from the existing floor plan (from the asbestos survey), and a measuring tape to capture lengths and sizes more accurately. The materials were then organised into a 'bill of quantities' style spreadsheet to record the estimated volume of each type of material.

The key materials are as follows:

TOWER BLOCKS

FOUNDATIONS

Due to the light touch nature of the survey, the foundations of the Tower Blocks were not able to be determined. It is assumed due to the size of the building; the building has piled foundations. The concrete and steel volumes are estimated to be 509 m³ and 88.9 tonnes respectively. Screed, damp proof membrane and compacted hardcore are estimated to be 2,985m² in total.

LARGE PANEL SYSTEMS (LPS) & CLADDING

The external facade of the Tower Blocks has LPS panels which have been re-cladded in the 1990s with steel cladding panels. The survey conducted on site confirms the quantity of concrete within the LPS panels to be 1,530m³ with 306 tonnes of steel reinforcement. The metal cladding totals to an estimated 2,727 tonnes. The external glazing is confirmed to be double glazed PVC framed windows, which equate to 750 m².



Figure 13: External facade of 1-87 Regina Road

BRICKWORK

The lowest section of the ground floor facade features brickwork. The estimated volume of brickwork is approximately 275 m³.



Figure 14: External brick on the facade

CONCRETE FRAME AND SLABS

The visual inspection of the stripped units within the building, revealed the building is a concrete reinforced frame with concrete slabs. The quantity of concrete is estimated to be 772m³ whilst the reinforcement steel is estimated to be 154,392 kg.

PARTITIONS

The interior walls are largely constructed of concrete blockwork with a thin cement plaster layer and paint. A total volume of blockwork and concrete partitions is estimated to be 2,950m³



Figure 15 & 16: Internal walls

CONCRETE STAIRCASE

The blocks feature a reinforced concrete staircase with steel railings, with an estimated total quantity of approximately 15m³ and 23 tonnes for concrete and steel respectively.



Figure 17: Timber staircase for the Annexe

STEEL ROOF

The steel roof section is only present on 1-87 Regina Road of the Tower Blocks. Corrugated steel panels are present as the roof cladding with a steel frame to the structure. The total area of steel within this steel roof extension is estimated to be 408m²



Figure 18: Internal wall and ceilings of the annexe

INTERNAL FINISHES

The internal finishes are estimated as follows, based on the site survey of the buildings:

- Plaster- 29,920m²
- Tiled – 543m²
- Vinyl tiles- 2,145m²
- Carpet- 63 m²

SERVICES

The following services are estimated to result from the demolition of the building:

- 166 no. gas boilers
- 312 no. radiators
- 1 no. elevator system
- 4.8 tonnes of iron pipework
- 856 no. LED lighting units
- 43.3 tonnes of electrical distribution

MAISONNETTES

FOUNDATIONS

Due to the age of the development and size, it was determined the foundations are shallow brick footing foundations. It is estimated the foundations total to a volume of 79m³. The concrete ground floor slab alongside the associated screed, damp proof membrane and compacted hardcore covers an area of 427m².

EXTERNAL WALLS AND STRUCTURE

The building's exterior is composed of brickwork, clay tiles and glazing. The brickwork façade including the mortar, covers an estimated area of 996m², with tiles covering 400m².

The exterior has PVC windows with panels where the total glazing is estimated to be 180 m².

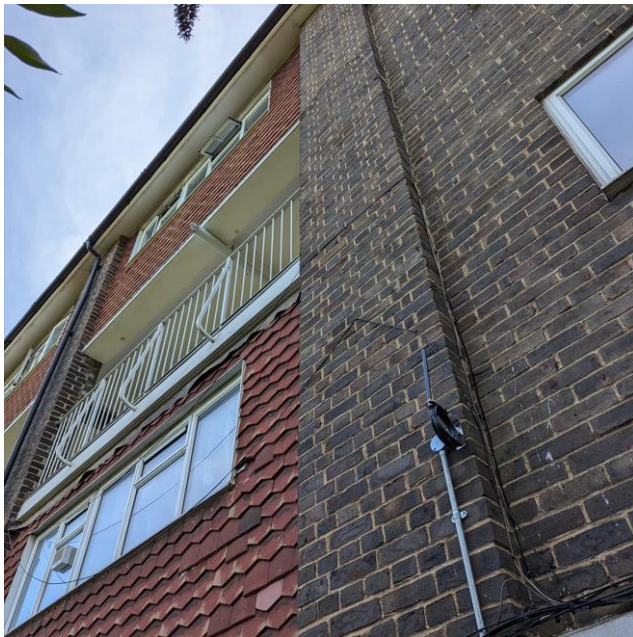


Figure 19: PVC windows on the facade

SLABS

The slabs of the maisonnettes were exposed, revealing the timber construction. The total area of the timber floor has been calculated to be 1,280m².

ROOF

The pitched roof construction consists of timber beams and joists alongside membranes and a clay tile finish. The total area of the pitched roof has been calculated to be 400m². A small area of flat roof is also present measuring 25m².

INTERNAL FINISHES

The internal finishes are estimated as follows, based on surveying the buildings and generalising results:

- Wall plaster- 1,290m²
- Vinyl flooring- 612 m²
- Tiles - 130 m²

SERVICES

The following services are estimated to result from the demolition of the building:

- 18 no. gas boilers
- 108 no. radiators
- 755 kg of iron pipework
- 144 no. LED lighting units
- 6.8 tonnes of electrical distribution

RESIDENTIAL FLATS (REGINA ROAD)

FOUNDATIONS

As advised by the Structural Engineer (Curtins), it was determined the foundations are shallow strip foundations. It is estimated the foundations total to a volume of 81m³. The concrete ground floor slab alongside the associated screed, damp proof membrane and compacted hardcore covers an area of 542m².

EXTERNAL WALLS

The building's exterior is composed of brickwork with rendering over a section and glazing. The brickwork façade including the mortar, covers an estimated area of 1,384m². Whilst the render and double-glazed PVC

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windows cover an area of 58m² and 136 m² respectively.



Figure 20: PVC windows on the facade

TIMBER FRAME

As confirmed within the planning application documents, the residential flats are timber framed. The estimated quantity of timber is 194m³. The upper floors are also confirmed to be timber, across an area of 864m².

ROOF

Similarly to maisonettes the roof is a pitched roof construction, constructed of timber and a clay tile finish. The area of the roof is estimated to be 1,406 m².



Figure 21: North facing façade showing the pitched roof

INTERNAL WALLS

These residential flats are assumed to have timber frame partitions with plasterboard and painted. There is an estimated area of 870m² of internal partitions within the flats, then 412m² of blockwork for party walls.



Figure 22: Internal walls

FINISHES

The internal finishes are estimated as follows, based on surveying the buildings and generalising results:

- Laminate flooring- 1,085m²
- Ceramic tiles- 242m²
- Plasterboard – 2,760 m²
- Plaster – 2,760 m²

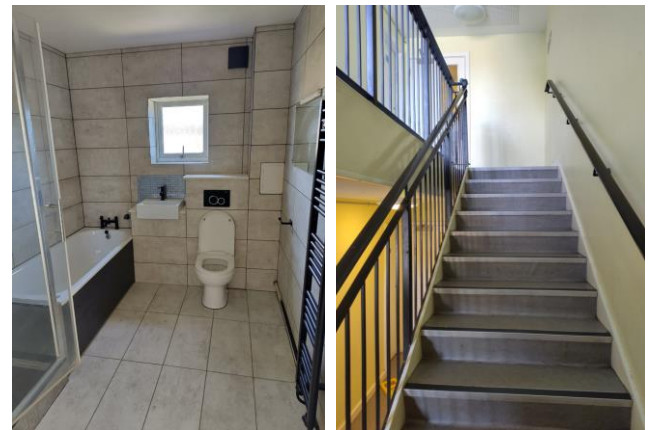


Figure 23 & 24: Kitchen and stairwell finishes

SERVICES

The following services are estimated to result from the demolition of the building:

- 14 no. gas boilers
- 66 no. radiators
- 620 kg of iron pipework
- 86 no. LED lighting units
- 5.6 tonnes of electrical distribution
- 1no. elevator

RESIDENTIAL FLATS (SUNNY BANK)

FOUNDATIONS

Due to the age of the development and size, it was determined the foundations are shallow brick footing foundations. It is estimated the foundations total to a volume of 65m³. The concrete ground floor slab alongside the associated screed, damp proof membrane and compacted hardcore covers an area of 587m².

EXTERNAL WALLS AND STRUCTURE

Similarly to the other residential flats and maisonettes, the building's facade is constructed of brickwork, assumed to be with a membrane and insulation. The brickwork façade including the mortar, covers an estimated area of 1,193m².

Small balconies are also present for the building, assumed to be constructed of steel with steel railings and a felt finish. The area of the balconies is estimated to be 49m².

The exterior has PVC windows where the total glazing is estimated to be 240 m².



Figure 25: Southwest façade showing brickwork and windows

SLABS

Whilst the slab on site was not exposed within the building, it is assumed the slabs are reinforced

concrete. The total area of the floor slabs has been calculated to be 1,760m²

ROOF

The pitched roof construction consists of timber beams and joists alongside membranes and a clay tile finish. The total area of the roof has been calculated to be 589m².

INTERNAL FINISHES

The internal finishes are estimated as follows, based on surveying the buildings and generalising results:

- Plaster – 3,572m²
- Vinyl flooring- 171m²
- Ceramic tiles- 5 m²
- Plasterboard – 111 m²



Figure 26: Bedroom showing floor and wall finishes

SERVICES

The following services are estimated to result from the demolition of the building:

- 24 no. gas boilers
- 144 no. radiators
- 780 kg of iron pipework
- 168 no. LED lighting units
- 6.9 tonnes of electrical distribution



Figure 27 & 28: Gas boiler and radiators within the units

PRESCHOOL

The preschool was not accessible; therefore the following materiality was assumed:

- Concrete ground floor slab
- Prefabricated façade panels
- Pitched timber roof
- Timber partitions
- Aluminium windows

EXTERNAL AREAS & LAND TO THE REAR OF 89-157 REGINA ROAD

CONCRETE / ASPHALT

The majority of external areas are formed of asphalt surfaces for the car parking areas, with concrete tiles to the pedestrian walkways around the perimeter of the building. The area of this asphalt surface is estimated to be 5,200m² whilst the area of concrete paving in the site is estimated to be 3,000 m².

PREDICTED WASTE STREAMS

See Appendix C for the detailed predicted waste streams identified for the existing building and site.

EMBODIED CARBON OF KEY MATERIAL

The tool used for the assessment of embodied carbon of existing materials was OneClick LCA, which follows BS EN 15978, is IMPACT-compliant, BRE certified, and listed in the GLA Life-Cycle Carbon Assessments Guidance, Appendix 1 as an acceptable tool for undertaking whole-life-carbon assessments.



Table 2 Embodied carbon of estimated key materials (A1-A3)

Material	A1-A3 Embodied Carbon (tCO ₂ e)
Steel	11,024
Concrete	2,358
Insulation	602
Brick & Mortar	438
Timber	275
Blockwork	244.20
PVC windows	65

MATERIALS IDENTIFIED FOR REUSE

Materials in Appendix C are colour coded green, orange and grey based on their suitability for reuse as summarised in Table 3 Classification definitions of potential for reuse and recycling – see Appendix C

Table 3 Classification definitions of potential for reuse and recycling – see Appendix C

Level	Definition
Reuse	Materials with potential for direct reuse without significant additional processing
Recycle	Materials with potential for recycling or manufacturing into new products. Suitable for components which may be damaged during disassembly process.
Landfill	Last resort disposal of materials into landfill sites. Only should be targeted for materials that cannot be recycled due to damage or toxicity.

UNKNOWN WASTE QUANTITIES

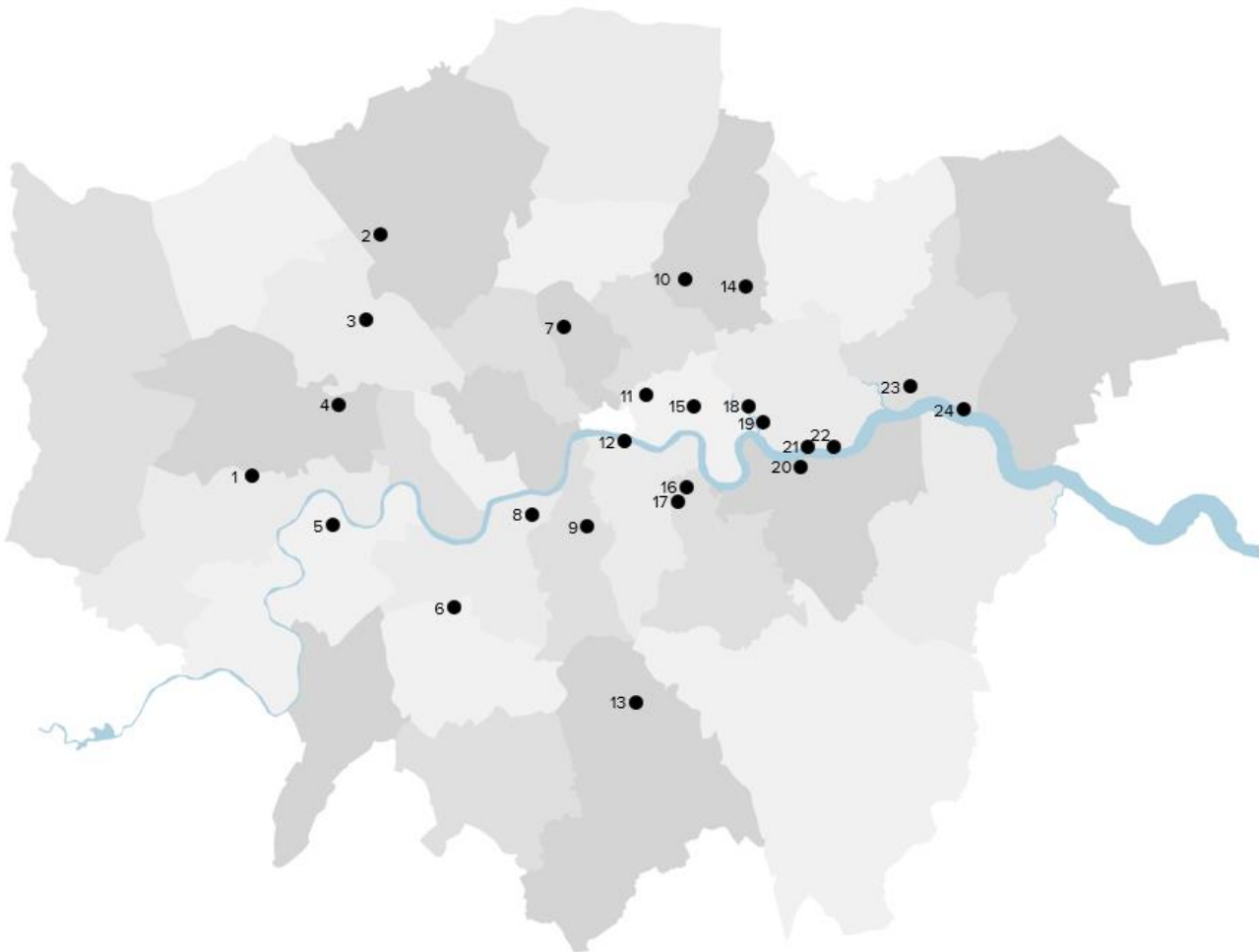
Due to the non-intrusive nature of the site survey, it was not possible to ascertain certain material quantities during the inspection, meaning that a number of assumptions had to be made, including the following:

- Foundations – there were no foundation drawings available, and it was not possible to carry out intrusive surveys at site in the timeframe required by this report, thus high-level assumptions have been made.
- Structures to all blocks – No drawings were available of the existing frame structure and so assumptions had to be made based on visibility of beams at ground floor.
- Internal areas of blockwork inside the structure including frame
- Electrical systems
- Below-ground drainage

WASTE PROCESSING FACILITIES

The following sections identify local recycling and waste processing facilities that could be utilised to aid with the recycling of demolition waste on the project. These should be prioritised for all materials that can't be directly reused onsite or offsite.

LOCAL MATERIAL RECOVERY FACILITIES – METAL



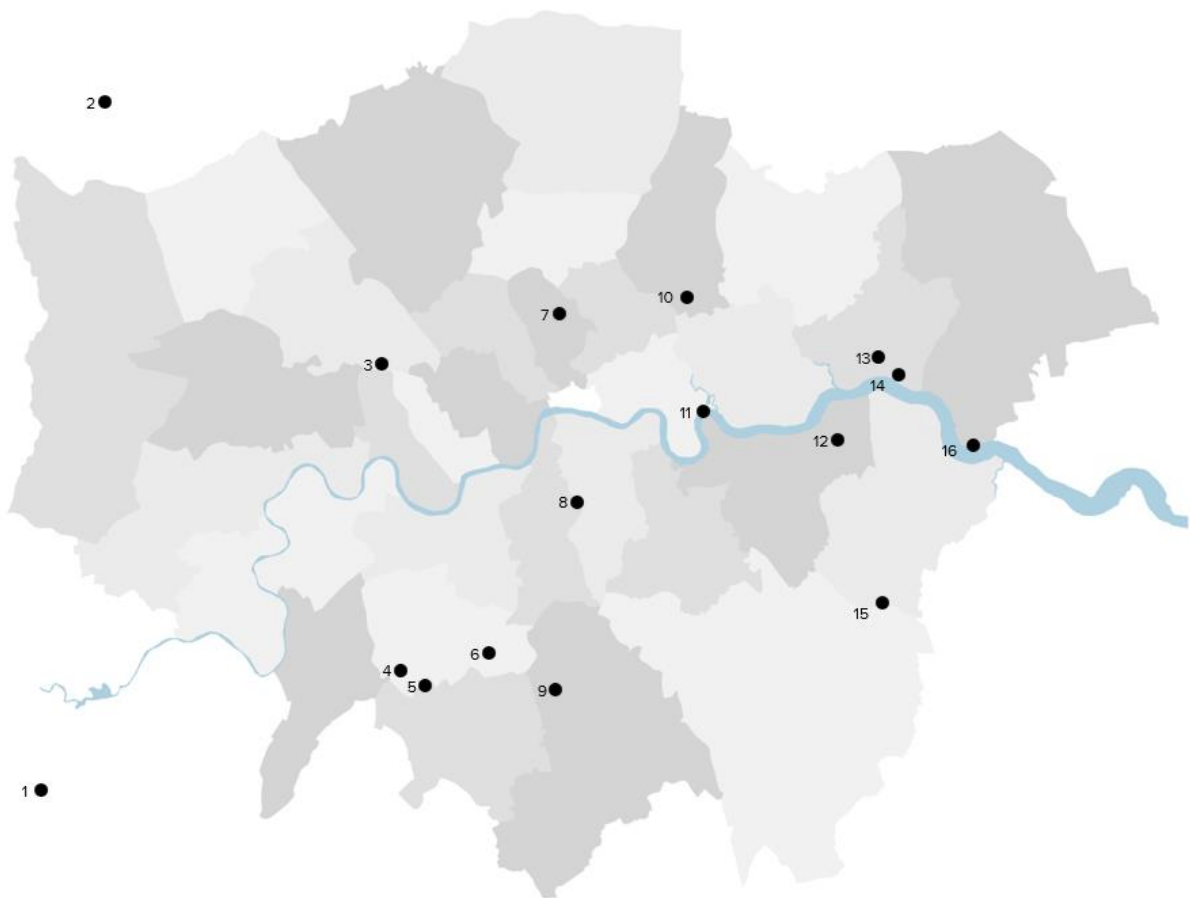
- | | |
|--|---|
| 1. EMR Brentford 020 8847 2417 | 7. Islington Hornsey Street Reuse and Recycling Centre* 020 7464 2225 |
| 2. The Metal Recycling Group (Edgware) 020 8450 5445 | 8. EMR Wandsworth 020 7622 4498 |
| 3. EMR Neasden 020 8459 5141 | 9. Gordon Grove Metal Company 020 7737 3886 |
| 4. Horn Lane Metals 020 8992 4609 | 10. Argall Metal Recycling Ltd 020 8558 3223 |
| 5. Sullivans Scrap Metal Merchants 020 8654 8465 | 11. Burdett Metals 020 7739 3951 |
| 6. Powerday Wimbledon 020 8960 4646 | |

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12. Bermondsey Metals Recycling Ltd 020 7407 2999
13. Sullivans of Mortlake Scrap Metal 020 8878 3393
14. T & C Metal Recycling 020 8558 2720
15. Bow Metals Recycling Centre 020 8981 7642
16. Deptford Metals 020 8692 3755
17. Southwark Metals Ltd 020 7732 0001

18. R&N Metal Recycling 020 7473 5444
19. Royal Docks Metals 020 7476 0820
20. Copia Metals & Waste Ltd 020 8293 0892
21. Connolley Metals Limited 020 3621 7644
22. The Metal Recycling Group 020 7511 7294
23. Suez Barking* 020 8594 3625
24. HKS The Metal Company 020 8984 1888

LOCAL MATERIAL RECOVERY FACILITIES – PLASTIC



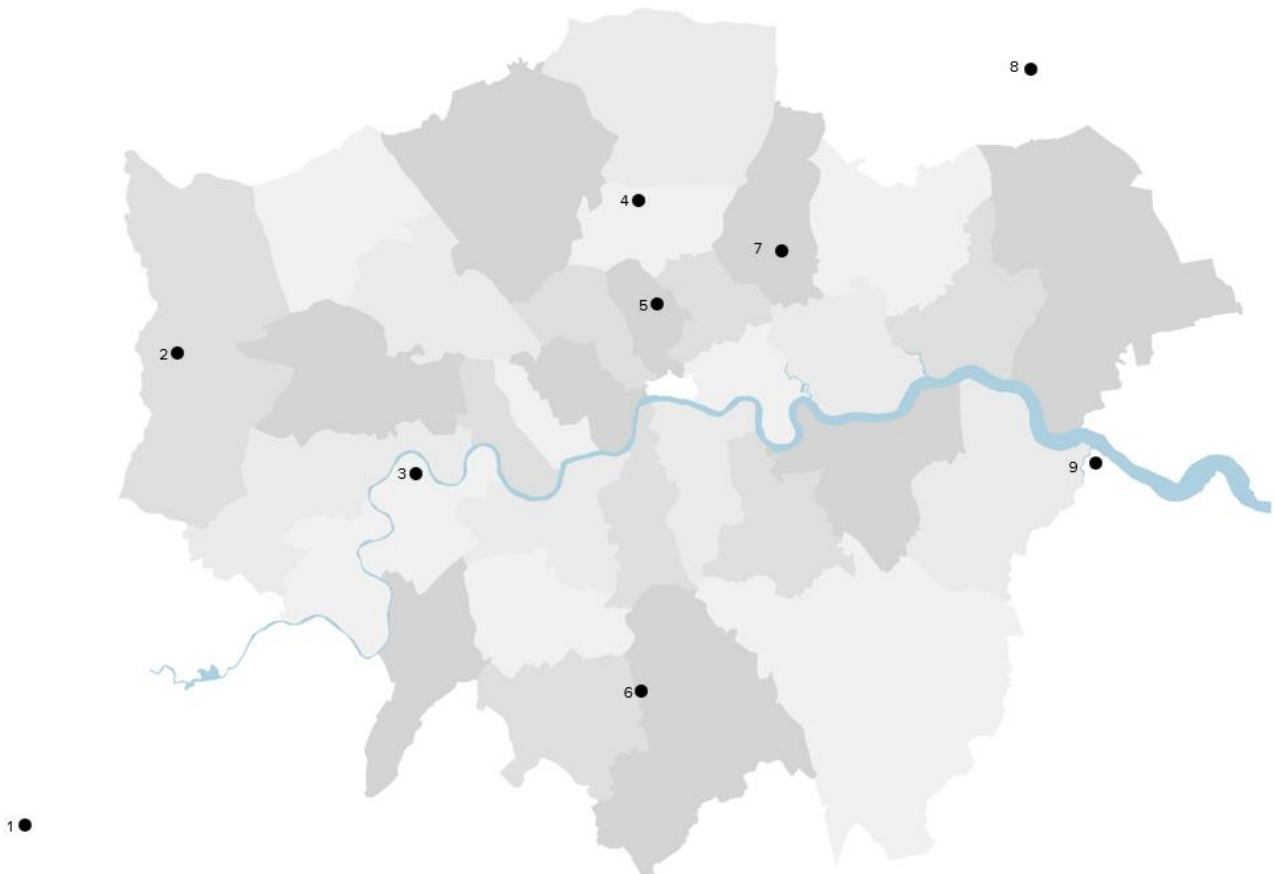
1. ENF Recycling* 07555155172
2. Anchor Recycling & Waste Management Ltd* 01923 940 691
3. Powerday Willesden* 020 8960 4646
4. SUEZ recycling and recovery UK (Morden)* 020 8329 1030
5. Garth Road Reuse and Recycling Centre* 020 8274 4902
6. City and suburban* 020 8642 4762

7. Islington Hornsey Street Reuse and Recycling Centre* 020 7464 2225
8. Powerday Brixton* 020 8960 4646
9. Factory Lane Reuse and Recycling Centre* 020 8726 6200
10. Bywaters Waste Management Centre* 020 7001 6000
11. Tower Hamlets Re-use & Recycling Centre* 020 7364 5004
12. PlasRecycle Ltd 020 3327 2720

- 13. Titan Waste Solutions recycling 020 8432 2225
- 14. Veolia Dagenham 020 7812 5000

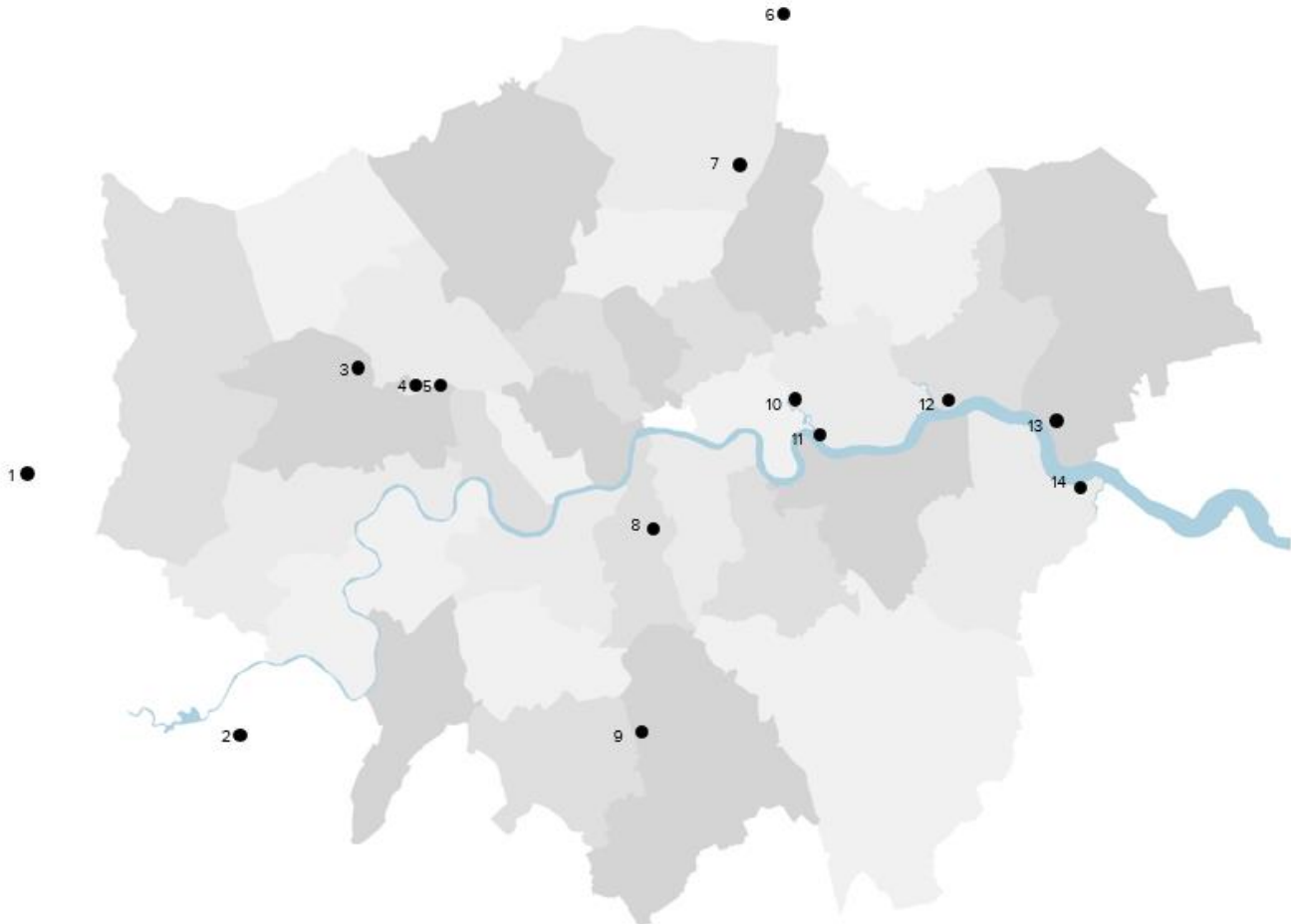
- 15. Maidstone Road Re-Use and Recycling Centre* 020 8303 7777

LOCAL MATERIAL RECOVERY FACILITIES – TIMBER



- 1. The Useful Wood Company 01483 714362
- 2. The Yard Recycling Centre 01895 239607
- 3. Townmead Road Re-use and Recycling Centre* 020 8876 3281
- 4. Western Road Reuse & Recycling Centre* 020 7464 2225
- 5. Islington Hornsey Street Reuse and Recycling Centre 020 7464 2225
- 6. Solo Wood Recycling 07444 729521
- 7. Forest Recycling Project 020 8539 3856
- 8. Riverside Timber Recycling Project 07874 207822

LOCAL MATERIAL RECOVERY FACILITIES – MIXED



- 1. Biffa plc Slough* 01753 580135
- 2. Biffa plc Walton on Thames* 02392 001330
- 3. Biffa plc Wembley* 0800 307307
- 4. Biffa plc* 0800 307307
- 5. Powerday Willesden* 020 8960 4646
- 6. Glassbusters 020 8450 5066
- 7. Biffa plc North London* 0800 307307
- 8. Powerday Brixton* 020 8960 4646
- 9. Factory Lane Reuse and Recycling Centre* 020 8726 6200
- 10. Bywaters* 020 7001 6000
- 11. GB Skips Ltd* 020 8501 0100
- 12. London Recycling Solutions* 020 8989 0449
- 13. May Glass Recycling 020 8524 5500
- 14. Veolia* 01708 632020

WASTE PROCESSING ROUTES

Current waste processing routes for each key waste group are identified throughout the next section. Landfill should be treated as a last resort option for waste disposal and should only be used for hazardous materials that can't be disposed of in any other way.

CONCRETE

Waste Processing Routes;

1. REUSE: Sections of concrete cut for direct reuse as paving, lintels, coping stones, gabion walls. Concrete panels and paving could be sold for reuse
2. CRUSH & RECYCLE; Break down concrete for use in aggregate and hardcore

In the majority of cases, concrete needs to be crushed to produce recycled concrete aggregates. This can then be reused within new concrete mixes, onsite or offsite. The breaking down of concrete will also facilitate the reclamation of steel reinforcement bars.

The priority of reuse would be to retain onsite and integrate into the new development. This could take the form of utilising the recycled aggregates within new concrete mixes, and given that the new building is planned to be built of a concrete frame, this would be a beneficial source of aggregate material.

Alternatively, the existing concrete could be cut into small sizes onsite and reused for down-cycled functionalities such as kerb stones, coping stones or lintels. This would rely upon there being space onsite for the crushing and processing of the concrete.

Looking at the embodied carbon of transporting materials, it would likely not be beneficial to reuse the material onsite if it needs to be transported long distances for processing before being returned to site, as transporting concrete is very energy intensive.

Potential applications for recycled concrete onsite include;

- Aggregate for new concrete mixes
- Base course and binder course for ground works and external landscaping

- Pipe bedding
- Coping stones and lintels
- Embankments and fill, levelling works
- Infill to gabion wall structures



Figure 29: Reusing broken up concrete within landscaping, paving and kerbs is a good way to promote direct reuse onsite – Image: <https://www.terranovalandscaping.com/90/>

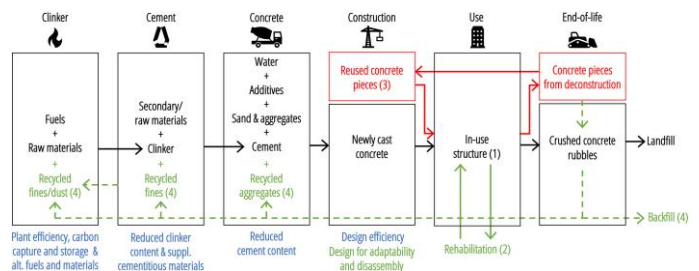


Figure 30: Concrete reuse and recycling pathways K pfer et al., 2022.

STEEL

Waste Processing Routes;

1. REUSE: Reclaim steel and repurpose within proposed design

2. RECYCLE: Send to metal recycling facility.

The main source of steel within the building is from the steel cladding and reinforcement within the concrete foundations, frame elements and floor slabs. In external areas the main source of steel is from the tall fencing around the MUGA and preschool.

Reinforcement bars cannot be reused directly, and typically are separated from concrete waste and sent to a steel mill to be recycled into new steel.

The steel portal frame structure will need to be assessed by structural engineers to evaluate the potential for it to be reclaimed and reused directly. In terms of reuse onsite, the proposed development does not feature a steel frame, though there may be opportunities for use of steelwork within landscaping. Offsite it may be possible to reclaim the steelwork for reuse in other projects employing a steel frame structure.

Below is a table of the relevant recycling centres and distance from site.

Table 4 – Metal recycling centres nearby

Metal recycling centres	Distance from site
Sullivans of Mortlake Scrap Metal	0.7km
Gordon Grove Metal Company	9.7km
Powerday Wimbledon	12.7km



Figure 31: Reclaimed steel used at Holbein gardens, HTS¹

BRICK

Waste Processing Routes:

1. REUSE: Reclaim brick and repurpose within proposed design
2. RECYCLE: Crushed and used as ground cover

Reclaimed bricks can be integrated into new batches of brickwork for external wall, adding contrasting colours and patterns to the new external walls. Inside buildings, reclaimed brickwork can serve as striking feature walls in reception areas.

Furthermore, these bricks can be employed for soldier courses, window surrounds and other architectural accents. Beyond structural elements, reclaimed bricks can be used for pathways, driveways and patios enriching the landscape with texture and character.

It has been discussed with the architect that there may be scope to reutilise reclaimed bricks to form the internal non-loadbearing walls within building reception areas.

¹<https://hts.uk.com/blog/reuse-of-steel/>

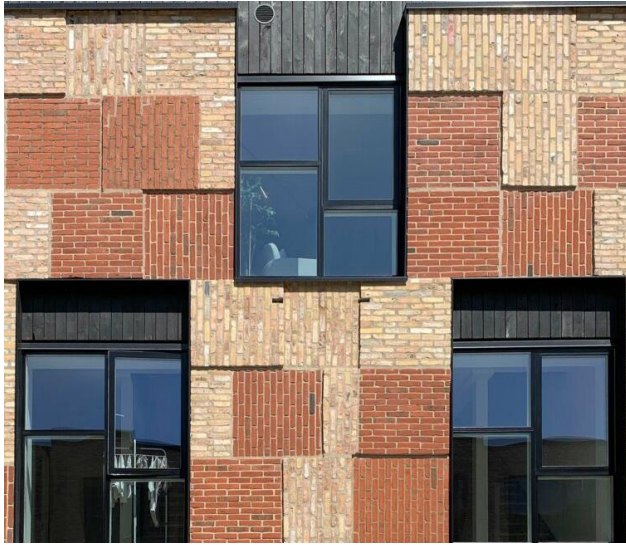


Figure 32: Reclaimed brick used for the new building creating contrasting patterns on the external wall-Image: Architects Journal

TIMBER

Waste Processing Routes:

1. RECLAIM; Reuse timber doors, windows, fencing and other joinery onsite, or sell for offsite reuse
2. RECYCLE FOR LOCAL USE; Donate for community workshops
3. DOWNCYCLE; Send to processing facilities for remanufacture into chipboard etc.
4. FUEL; Sent to facility to produce biomass fuel pellets for energy production.

The timber elements in the building such as the external fencing and internal door could be reused onsite, or sold for reuse on other projects.

Timber doors and other joinery could be salvaged and reused, either directly or following refurbishment. Other timber could be reused in landscaping features, for example in forming external decking areas or benches, or new fences around water features for example.



Figure 33 EU Headquarters famously incorporates a patchwork of 3,750 recycled wooden window frames procured from renovation or demolition sites across Europe in its façade. – Image: Dezeen

GYPSUM

Waste Processing Routes:

1. RECYCLE; Salvage and send to plasterboard recycling services

Plasterboard and other high sulphate bearing wastes are no longer permitted in general landfill and can only be landfilled at a mono-cell at a landfill site (a separate cell which only accepts high sulphate waste). Presently the only two options for disposing of plasterboard waste are to recycle / recover or to dispose in a mono-cell landfill site (landfill which only accepts high sulphate waste). Due to the rising cost of landfill, in any cases the costs associated with recycling plasterboard are much lower than those associated with monocell disposal.

Recycling is the recommendation and mono-cell disposal is last priority. There are many plasterboard recycling services available locally, including that of British Gypsum's Plasterboard Recycling Service (PRS)², who will collect the waste and recycle into new board at their dedicated plasterboard recycling facilities.

² <https://www.british-gypsum.com/sustainability/our-sustainability-services/our-plasterboard-recycling-service>

GLASS

Waste Processing Routes:

1. REUSE: Reclaim glass panels and repurpose within proposed design
2. RECYCLE: can be melted and used to manufacture new glass products. Crushed and used as aggregate in construction materials.

Reclaimed glass panels from curtain walling offer versatile possibilities for sustainable building design. The reclaimed glass panels can be utilized as partitions or room dividers in the new building layout.

Another application is incorporating reclaimed glass panels into greenhouse construction within shared amenity areas. Additionally, it can be cut and incorporated throughout the building for architectural lighting or signage. Crushed glass from these panels can be reused as aggregates for internal flooring or external applications, reducing waste.

Glass chips or shards can be embedded into surfaces to create durable and decorative elements for both indoor and outdoor use.

SMALL ELECTRICAL ITEMS

Waste Processing Routes:

1. REUSE; Assessment of condition and reuse wherever feasible
2. RECYCLE; Send to facilities to sort into constituent parts for recycling.

The demolition works are also likely to yield significant quantities of small electrical items, such as light switches, wiring and sockets. It is recommended that these are reused wherever feasible. Larger electrical items such as hot water tanks and storage heaters should be sent to a specialist recycling facility to be broken out into their constituent parts for manufacture of new products.

REUSE AND RECYCLING TARGETS

DIVERSION OF RESOURCES FROM LANDFILL

The development will be required to comply with London Plan Policy SI 7 (reducing waste and supporting the circular economy) which includes the following requirements;

- Zero biodegradable or recyclable waste to be sent to landfill by 2026
- At least 95% of construction and demolition waste diverted from landfill

These requirements correspond to the BREEAM New Construction 2018 'exemplary level' benchmarks. Diversion from landfill includes;

- Reusing the material onsite (insitu or for new applications)
- Reusing the material on other sites
- Community reuse and recycling
- Salvaging or reclaiming the material for reuse
- Returning material to the supply via 'take-back' schemes
- Direct recycling of materials via specialist material recycler
- Recovery of the material from site by an approved waste management contractor and recycling or sent for energy recovery
- Utilising waste in exempt or permitted applications (not landfill).

It is recommended that all waste is sorted into separate waste groups either on-site or through a licensed contractor for recovery.

All contractors involved in the project (including enabling works, site clearance, demolition works and main construction contract) will be required to collect waste data including;

- Total quantity of waste generated for each key waste group (m³ and/or kg)
- Percentage of waste diverted from landfill.
- Waste collection tickets confirming end-destination of all waste removed from site.

- Evidence that waste has been sorted and segregated on-site or off-site by a licensed contractor.
- Evidence of waste contractor's license to operate.

This information should be made available to the BREEAM assessor. Failure to collect this data may result in loss of BREEAM credits.

TOTAL CONSTRUCTION WASTE TARGETS

To maximise BREEAM credits the development will be required to implement and meet a target for total construction waste generated by the construction works. This target should be set by the main contractor (in line with the targeted BREEAM credits) and monitored throughout the construction.

CONCLUSIONS & RECOMMENDATIONS

KEY WASTE GROUPS

The most significant waste streams predicted to arise from the demolition works are:

- Concrete: 19,172 tonnes
- Steel: 3,812 tonnes
- Concrete blockwork: 3,267 tonnes
- Brick: 2,771 tonnes
- Hardcore: 1,916 tonnes
- Plaster: 824 tonnes
- Screed: 596 tonnes
- Insulation: 425 tonnes
- Timber: 337 tonnes

Concrete from foundations, ground floor slab and external surfaces should be crushed and stockpiled onsite to be reused as aggregate or within landscaping sub-layers in the new development. It may also be possible to cut the concrete to form kerbs and lintels. If the concrete cannot be used onsite, it should be sent to another site to be reused in these ways.

Steel components from the portal frame structure have potential for reclamation and direct reuse, either onsite for any steel structures, such as rooftop plant structures or within landscaping elements, or sold for offsite reuse in other steel frame construction projects. Concrete reinforcement bars should be reclaimed and sent to steel reprocessing facilities to recycle into new steelwork.

Plaster and plasterboard should be sent to a specialist recycling facility such as British Gypsum’s Plasterboard Recycling Service (PRS)

Timber should be reclaimed and reused onsite wherever possible, such as within landscaping to form new furniture, decking or fencing.

Small electrical items, such as light switches, wiring and sockets should be reused wherever feasible. Larger electrical items such as hot water tanks and storage heaters should be sent to a specialist recycling facility to be broken out into their constituent parts for manufacture of new products.

CIRCULAR REUSE

Construction, demolition, and excavation represents 64% of total annual UK waste. Although a large proportion of this waste is diverted from landfill, most building components are recycled or downcycled, which in turn reduces their value. By reusing existing buildings and the materials held within them we can keep these circulating at their highest value and prevent the need to source new manufactured materials and reduce the amount of energy (and carbon) expended on recycling processes.

Table 5 Reuse onsite / recycling offsite

Material	% Reuse onsite	% recycled / diverted from landfill
Concrete	50	50
Brick	25	75
Steel/ Metal	25	75
Plaster & Plasterboard	0	100
Timber	25	75
Glazing	0	100

Throughout the report recycling routes have been presented for all major non-hazardous materials. This report has identified the following items as being potentially suitable for reuse:

- Crushed concrete
- Structural steel
- Light switches and electrical sockets
- Internal timber doors
- Plaster and plasterboard

It is also important that any proposed development is designed to facilitate future adaptability and disassembly. The key aim is to ensure that the building lifespan is prolonged as much as possible, so that the material values are maximised before being

disassembled and recycled. It is also very important that the building is designed to facilitate the easy disassembly of components in order to maximise recovery and direct reuse, and minimise damage to elements which would necessitate lower-value recycling and the additional energy involved in the recycling processes.

WASTE TARGETS

As noted previously it is a policy requirement of the GLA that 95% of demolition waste is diverted from landfill (reused, repurposed, recycled etc.), excluding all hazardous waste arisings. It may be possible for the project to improve on this figure, following consultation with the appointed demolition contractor(s).

As outlined through this report, the following materials should be diverted from landfill and either recycled or reused on the proposed development, whether through direct reuse or temporary structure during the construction processes.

- Brick
- Concrete
- Steel
- Plasterboard
- Metal cladding
- Electrical equipment
- Glass

The following recommendations may assist in maximising recycling:

- Engage with demolition contractor(s) and understand their proposal for waste management
- Set aside an area of the site for storage and segregation of salvaged materials and items
- Advertise specific salvage items using online marketplaces designed for material reclamation, such as Enviromate³, Salvoweb⁴, or via the Material Reuse Portal⁵.
- Contact local architectural salvage merchants about specific items

- Ensure that salvaged items are removed and stored in such a way that all component remain together (eg. doors in their frames)

NEXT STEPS

It is recommended that the following steps are taken during RIBA Stage 3 to firm up on the potential for reuse of the materials identified in this report.

- Undertake façade surveys to determine the buildups of the existing facades and confirm the extent of materials within the façade, including the sizes of the steel frame, purlins and insulation.
- Investigate and survey the internal walls to determine the quantities of plaster and plasterboard.
- Undertake detailed foundation investigations to confirm the size and type of foundations and sub-layers to external landscaping.
- Explore whether small electrical items could be reused in back-of house areas
- Consider ways in which existing steelwork and timber elements could be incorporated into the proposed scheme.
- Liaise with demolition contractor to discuss a plan for crushing of the existing concrete elements and how/ where this will be reused.

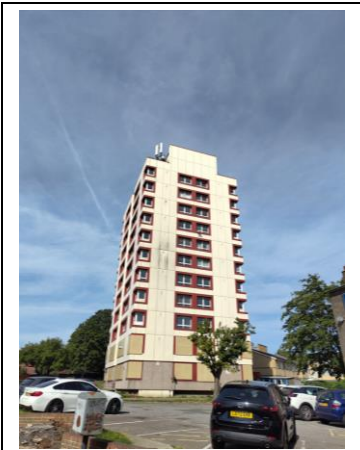
³ <https://www.enviromate.co.uk/>

⁴ <https://www.salvoweb.com/>

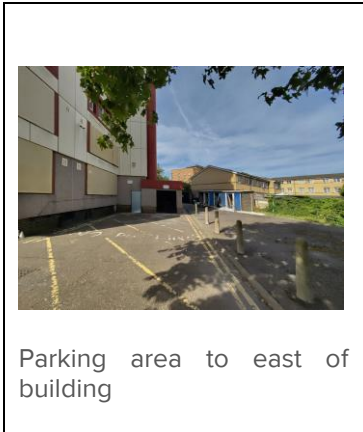
⁵ <https://materialreuseportal.com/>

APPENDIX B – SURVEY DRAWINGS

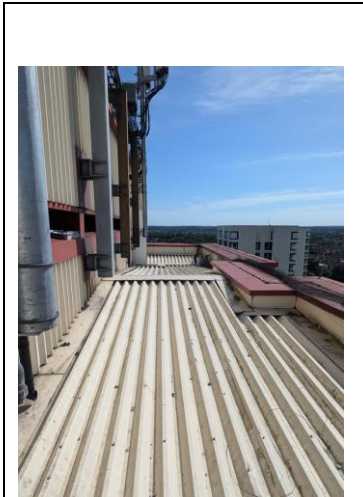
TOWER BLOCK (1-87 REGINA ROAD) – EXTERNAL



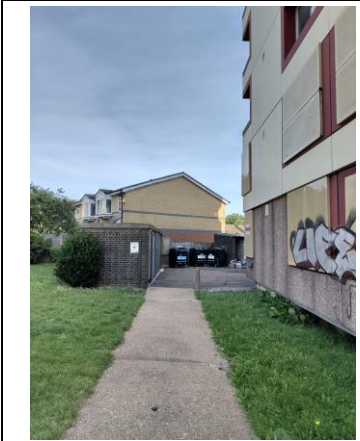
Main building from Regina Road



Parking area to east of building



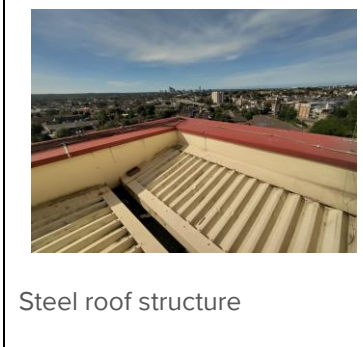
Steel roof structure



West façade

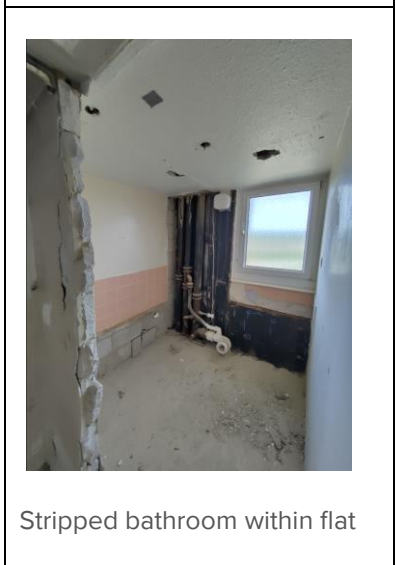
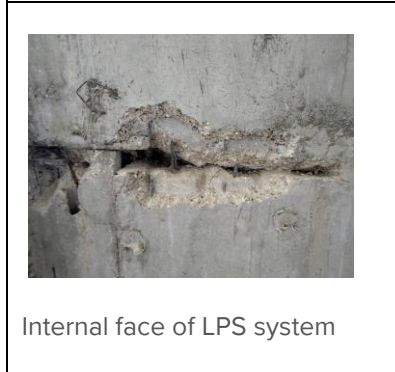
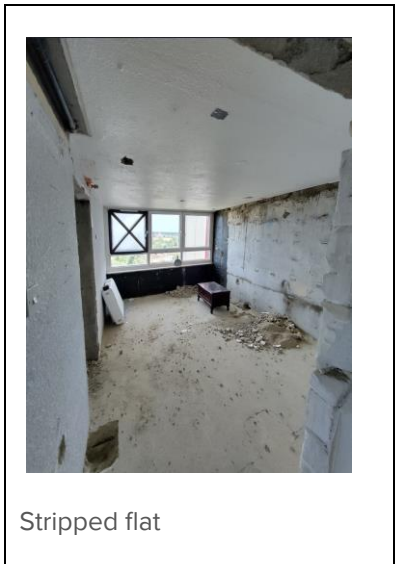
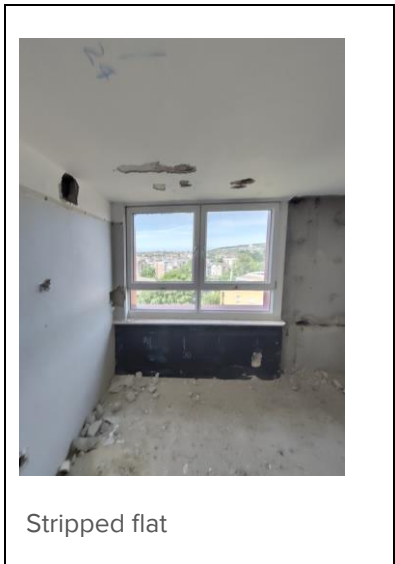
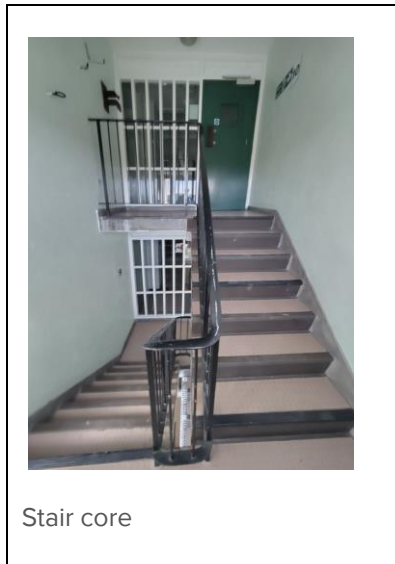


External façade to ground floor showing concrete system

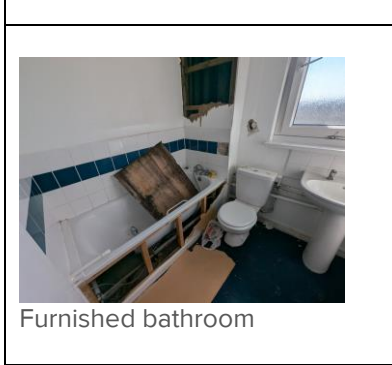
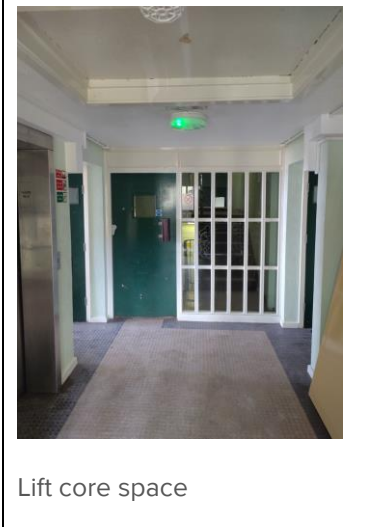
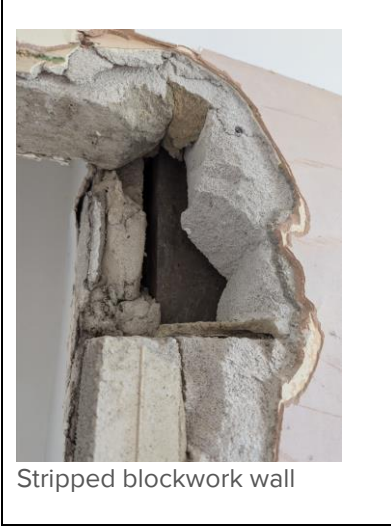
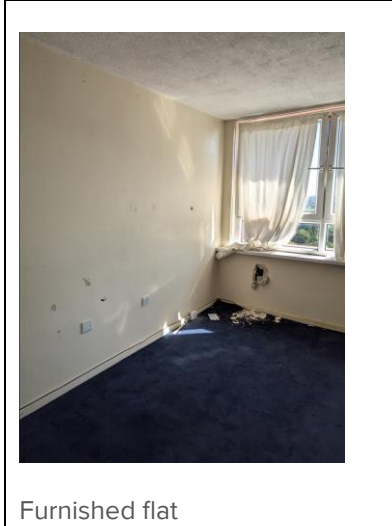
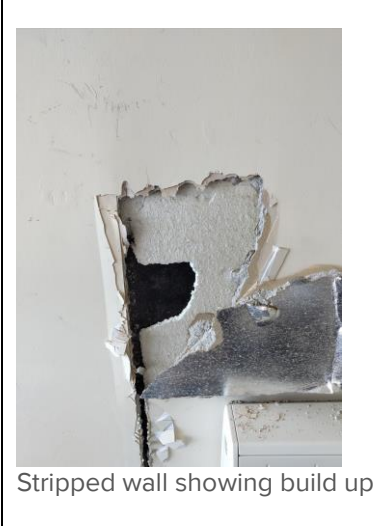
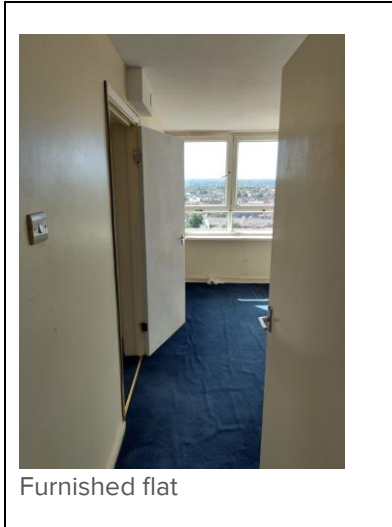


Steel roof structure

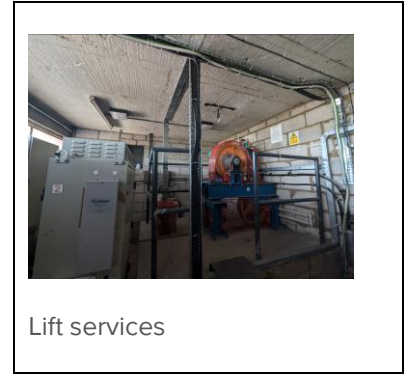
**TOWER BLOCK (1-87
REGINA ROAD) –
INTERNAL**



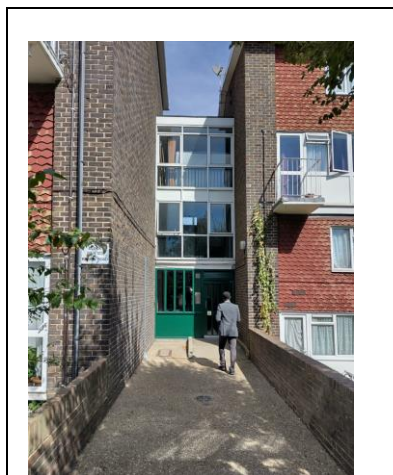
PRE-DEMOLITION AUDIT



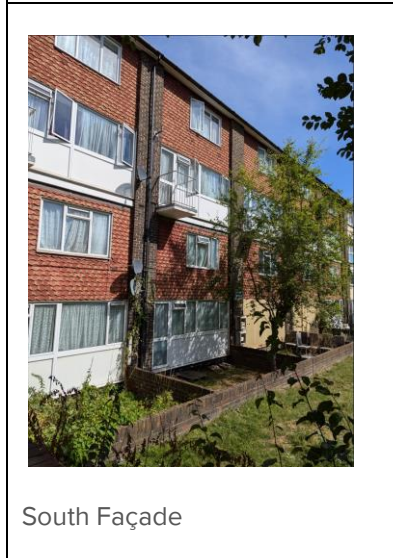
PRE-DEMOLITION AUDIT



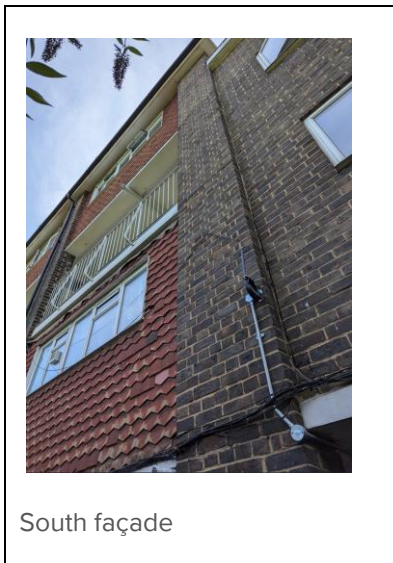
**MAISONNETTES (89-99
REGINA ROAD) –
EXTERNAL**



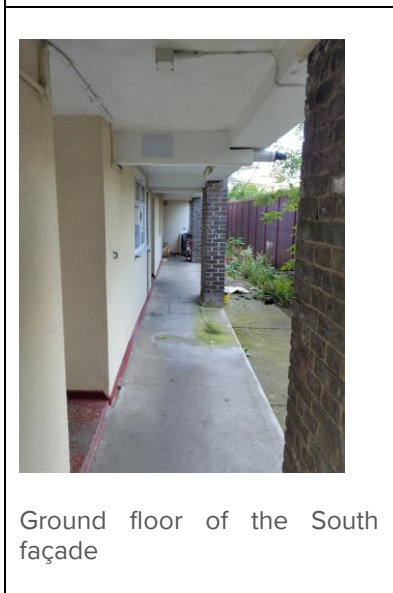
Façade and ramp from Regina Road



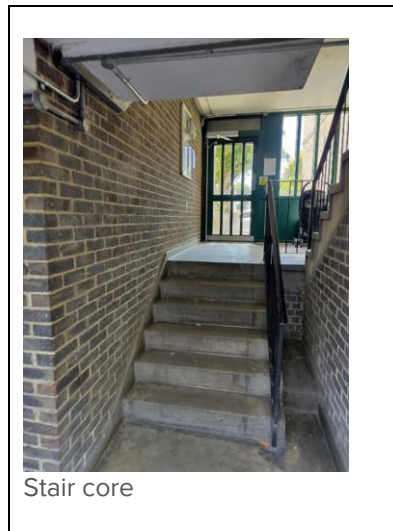
South Façade



South façade



Ground floor of the South façade



Stair core

PRE-DEMOLITION AUDIT

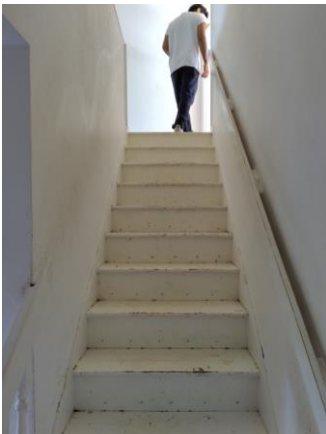
MAISONNETTES (89-99 REGINA ROAD)– INTERNAL



Lounge area



Lounge area



Timber staircase



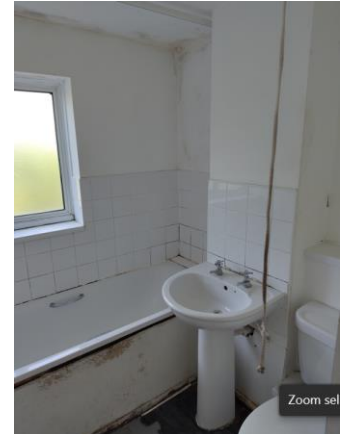
Bedroom



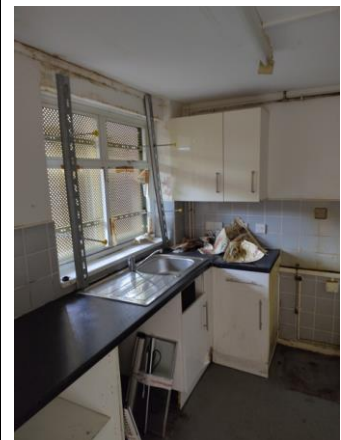
Bedroom



Bedroom



Bathroom

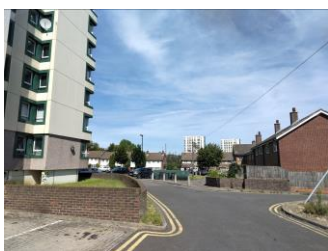


Kitchen fitout

FLATS (110A REGINA ROAD)– EXTERNAL



Northern façade and entrance



External road leading to 110a Regina Road and the preschool

FLATS (110A REGINA ROAD)– INTERNAL



Entranceway to building



Main hallway entrance to building



Internal staircase



Hallway within flat



Bedroom

PRE-DEMOLITION AUDIT



Bedroom



Bathroom



Bathroom



Kitchen



Lounge area

**RESIDENTIAL FLATS (1-4
SUNNY BANK) –
EXTERNAL**



Façade from Sunny Bank



Façade from Sunny Bank

**RESIDENTIAL FLATS (1-4
SUNNY BANK) –
INTERNAL**



Building core



Flat hallway



Lounge area



Kitchen fitout



Bathroom

PRE-DEMOLITION AUDIT



Bedroom



Bedroom

**SOUTH BLOCK –
INTERNAL**



Hallway to South Block, with suspended ceiling and parquet flooring



Stairwell



Poor condition of suspended ceilings in hallway



Fitout to library space



Hallway to lift and fire exit

PRESCHOOL – EXTERNAL



North Facade



North Façade

2-56 REGINA ROAD



North façade

58-109A REGINA ROAD



North façade



South façade view from Sunny Lane

EXTERNAL AREAS



MUGA



Planting in front of 5-8 Sunny Bank

APPENDIX C – ESTIMATED QUANTITIES

Waste Group	European Waste Code	Description	Predicted Quantity in Existing buildings (tonnes)	Recommended waste processing route
Concrete	17 01 01	Insitu concrete	19,172	Insitu concrete will be crushed and reused as sub-base or hardcore or reused as aggregate in new concrete mixes.
		Concrete blockwork	3,267	
Timber	17 02 01	Timber frame, slabs and roofs	337	Timber doors, skirting, kitchen counters and cabinetry could be easily salvaged and reused on-site or sold to be reused on other projects.
		Timber doors	30.3	
Brick	17 01 02	Brick walls	2,771,000	Reclaim brick for repurposing within proposed design and recycle facilities for processing into new steel.
Metals	17 04	Structural steel and reinforcement	1,084	All metals should be salvaged and sent to recycling facilities for processing into new materials
		Steel cladding	2,727	
		Iron pipework	7	
		Copper	6.2	
		Aluminium	4.6	
		Aluminium door	0.1	
Plastics	20 01	PVC window panels	8	The PVC panels are unlikely to be in a reusable condition so should be sent to a recycling facility
Textiles	20 01	Carpet	0.3	Carpets with a durable nylon pile can often be refurbished and reused. There are a number of carpet tile reuse and re-sale schemes, which provide low-cost flooring to households and charities. Wool rich carpet can be recycled into underlay and insulation or used as compost and growing media. Mixed synthetic carpets can be recycled into equestrian surfaces. Nylon from carpets can be extruded and injection moulded into engineering plastics. Polypropylene face fibre and backing can be shredded, granulated and extruded into pellets.
Services	20 01	Radiators	23.5	It may be possible to salvage and reuse the boiler or radiator on other sites, although given the increasing demands for new energy efficient boilers and therefore radiators this is unlikely to be a long-term solution, and instead may be more feasible to send to recycling facilities
		Boiler	5.9	
		LED lighting	1.2	It may be possible to salvage and reuse light fittings, depending on their age and condition. Under UK Legislation businesses are obligated to dispose of lamps responsibly. Fluorescent tubes and compact fluorescent lamps contain mercury and cannot be sent to landfill - these should be segregated and recycled safely. LED light bulbs contain components that can be recovered and reused. Organisations such as the Lightbulb Company provide collection and recycling services for all types of lamps. It may be possible to salvage and reuse electricity sockets and switches, this should be investigated by the demolition contractor. These can be sent to recycling facilities such as Islington Household Reuse and Recycling Centre.

		Lift system	4.1	Where possible these elements should be separated into their individual component for recycling, though this is typically very difficult.
		PV panels	0.5	
Tiles and Ceramics	17 01	Roof and floor tiles	158	Tiles are likely to break during the demolition works, and so it's unlikely that these can be reclaimed intact for direct reuse
		External wall tiles	25.5	
		Sanitaryware	18.75	Ceramic toilets, urinals and sinks may be possible to salvage and reuse if in good enough condition. If not they can be broken down and recycled.
Inert	17 01	Screed	596	Cementitious and plastic layers/ finishes should be analysed for the possibility for reuse, though the quality and age will likely hinder the possibility for reuse. Therefore, these will likely need to be recycled.
		Plastic layers	0.4	
		Hardcore	1,916	
		Vinyl flooring	18.4	
Gypsum	17 08 02	Plaster	824	Plasterboard and other high sulphate bearing wastes are no longer permitted in general landfill and can only be landfilled at a mono-cell at a landfill site (a separate cell which only accepts high sulphate waste). Presently the only two options for disposing of plasterboard waste are to recycle / recover or to dispose in a mono-cell landfill site (landfill which only accepts high sulphate waste). Due to the rising cost of landfill, in many cases the costs associated with recycling plasterboard are much lower than those associated with monocell disposal. Recycling is the recommendation and mono-cell disposal is last priority
		Plasterboard	25	
Insulation	17 06 04	Stone wool insulation	425	Depending upon the type of insulation material used, insulation board may be easy or challenging to recycle. Certain facilities offer specialist collection of certain materials, such as Ecogen who collect EPS - Once compacted, expanded polystyrene is 100% recyclable and can be efficiently and effectively transformed into useful household goods in the same way as other types of plastic
Glass	17 02 02	PVC double glazed windows	34.3	Glass panels can be repurposed within the proposed design, recycled to new glass products or utilized as aggregate in construction materials.

XCO2
56 Kingsway Place, Sans Walk
London EC1R 0LU

+44 (0)20 7700 1000
mail@xco2.com
xco2.com

